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155 S. Seward Street • Juneau, AK 99801

DATE: October 2, 2019

TO: Planning Commission

FROM: Irene Gallion, Planner
Community Development Department

CASE NO.: USE2019 0020

PROPOSAL: A Conditional Use Permit to expand retail development in a Severe Hazard Area

A handwritten signature in black ink, appearing to read 'Irene Gallion', is positioned to the right of the 'FROM:' field.

GENERAL INFORMATION

Applicant: Island Constructors

Property Owner: JNY, LLC

Property Address: 207 South Franklin Street

Legal Description: Juneau Townsite, Block K, Lots 1 & 2 FR

Parcel Code Number: 1C070B0K0010

Site Size: 6,802 square feet

Comprehensive Plan Future Land Use Designation: Traditional Town Center (TTC)

Zoning: Mixed Use (MU)

Utilities: CBJ water/sewer

Access: South Franklin Street

Existing Land Use: Retail (vacant)

Surrounding Land Use:

- North – Alaskan Fudge Company
- South – Alaskan Brewing Company Depot
- East – vacant lot
- West – George’s Jewelry and Gifts, and parking

VICINITY MAP



ATTACHMENTS

Attachment A – Application
Attachment B – Landslide and Avalanche Area Map, Adopted 1987

PROJECT DESCRIPTION

The applicant requests a Conditional Use Permit for an approximately 800 square foot expansion of retail space. A structure addition would extend the existing building through an existing courtyard, building up to the edge of the city sidewalk. The enlarged building will then be remodeled to accommodate three retail spaces.

It is recommended that the Planning Commission APPROVE the requested Conditional Use Permit for a retail expansion in a hazard area. The risks of this development in a hazard zone can be mitigated through behavior:

- Currently, individuals are asked to be aware of mass wasting risks and modify their behavior appropriately, such as avoiding certain areas during higher risk events.
- The proposed retail use would be attractive to seasonal-tourist-oriented retail. The tourist season takes place when mass wasting hazards are traditionally low (May through September).

BACKGROUND

The property is located on the northeast side of the intersection of Ferry Way and South Franklin Street. CBJ databases indicate the current structure was built in 1960, and includes an approximately 800 square foot courtyard area in the southwest corner. The site has been used for retail.

The courtyard was used for parking until 1998. Due to concerns about vehicles backing into intersection traffic, the City then required the owners to construct a physical barrier that would prevent vehicles from parking in the courtyard. Therefore, the owners built a concrete planter. In 2017, a reconstruction project replaced the curb cut-out with curb, and the planter could be removed.

Agency Comments

The following CBJ Departments were asked to review and comment:

CBJ Building Official: No issues at this time.

CCFR: No issues with this project.

CBJ General Engineering: No issues with this project.

Emergency Programs: The Manager recognizes a number of project features that are a good match for this location. However, outside of this particular project, he is hopeful that the City will engage in larger picture questions when avalanche and landslide mitigation should be required by the City. This is further discussed in "Public Health or Safety."

Public Comments

No public comments were received at the time of issuing this staff report. There was one query on why the subject property was in a Severe Hazard Area.

ANALYSIS

Project Site -

Table 1: Project Site Summary

Lot feature	Existing	Proposed (additional structure and lot consolidation)	Standards 49.24.400
Lot size	6,802 sf*	6,802 sf	4,000 sf minimum
Building	2,500 sf	3,300 sf	
Lot coverage	37%	49%	No maximum
Lot width	42.80 ft + 24.85 ft	67.65 ft	50 ft minimum
Lot depth	100 ft + 100 ft	100 ft	80 ft

* CBJ Assessor Database combined area of two lots under one tax identification number.

The project site consists of two lots, which are undergoing the lot consolidation process (SLC2019 0003), but share a tax identification number. The area of the combined lots is 6,802 square feet according to the CBJ Assessors data accessed through the CBJ GIS property map. The current lot widths are 42.80 feet and 24.85 feet according to a preliminary plat submitted with the lot consolidation application. The consolidated lot width of 67.65 feet will exceed the 50-foot minimum lot width required for Mixed Use (MU). Current lot depth for both lots is 100 feet, and exceeds the 80-foot minimum lot depth required for MU.

A 2,500 square foot existing building crosses the lots, and when the lots are consolidated, the existing lot coverage will be approximately 37 percent.

The rear of the lot behind the existing structure has a slope of about 80 degrees. The lot uphill from this one has a slope of approximately 41 percent. The slope for the vegetated area behind the building (up to Gastineau Avenue) is approximately 54 percent.

This project is in the Historic District.

Project Design – This project increases the number of retail spaces available and the overall area of retail availability. There are no residences proposed as part of this project.

The existing structure is 2,500 square feet. The conceptual design is to add approximately 800 square feet to the existing structure (in the current courtyard area) for a total of 3,300 square feet. The interior would then be remodeled to accommodate three retail spaces, each with its own restroom and storage area. Approximate sizes would be:

- Unit 1: 1,200 square feet of tenant space including 960 square feet of retail space
- Unit 2: 1,100 square feet of tenant space including 850 square feet retail space
- Unit 3: 1,000 square feet of tenant space including 630 square feet retail space
- Total: 3,300 square feet of tenant space including 2,440 square feet retail space

These measurements are preliminary and approximate. Unit square footage was estimated by scaling off of preliminary designs, and was rounded. Retail space was estimated using the same technique, but does not account for creative uses of the space by retailers.

The addition would increase lot coverage to 49 percent. The MU zoning district has no maximum lot coverage, and no minimum setback requirements.

Traffic – Based on national standards, the addition of 800 square feet of retail space is estimated to increase traffic by 35 trips.

Trip generation is estimated using the Institute of Transportation Engineer's (ITE) Trip Generation Manual (9th Edition) estimates for Specialty Retail Centers. These are generally small strip-shopping centers that contain a variety of retail shops.

The average rate for a Specialty Retail Center is 44.32 trips per 1,000 square feet. The 800 square foot addition to the project will generate an additional 35 trips.

While the Specialty Retail Center is the most comparable use in the ITE manual, it is reasonable to assume traffic may be less for this project. The downtown retail area on South Franklin Street generally serves tourists or residents who are already downtown for work or shopping.

Parking and Circulation – One parking spot is required for this proposed project. The project proponent is considering using CBJ's "Fee In Lieu of Parking."

The proposed project is in the PD1 parking district. Parking requirements do not apply to the existing building since it was constructed more than 50 years before adoption of CBJ parking district standards (49.40.210(d)(5)(C)(ii)).

49.40.210(a) requires one parking space per 300 square feet of retail space. Part (d) of that chapter allows for a reduction of 60 percent for expansion of an existing building.

Total spaces required (49.40.210(a))

(800 square feet)	/	300 square feet	=	2.7
Area of expansion		per spot square footage		parking spaces required

PD1 parking space reduction (49.40.210(a))

2.7	*	.6	=	1.6
Required parking spaces		60%		number of parking spaces that can be reduced

Total parking spaces with reduction applied

2.7	–	1.6	=	1.1
Required parking spaces		parking reduction		total spaces required

Rounding down, one parking space is required. The project proponent is investigating Fee In Lieu of Parking (49.40.210(d)(5)(D). The Consumer Price Index adjusted rate for one parking space is \$10,805.

Vegetative Cover and Landscaping – The MU zoning district has no requirements for vegetative cover.

Given the discussion of mass wasting events under “Public Health or Safety” below, one might wonder how the current upslope vegetation might affect the probability of landslides. The studies referenced in the “Public Health or Safety” section do not provide a definitive answer.

Tree roots exert a stabilizing influence through (Technical Report, 1972):

- Anchoring effect of roots growing through the shallow soil and into joints and cracks in the bedrock beneath;
- Intertwining with adjacent root systems to provide a more-or-less continuous long fiber binder to the soil mass over broad slope areas;
- The spread of long lateral roots across zones of weakness and into more stable areas; and
- The buttressing effect of tree root masses holding the soil up slope in place.

Vegetation can also destabilize a slope by (Technical Report, 1972):

- Loosening of soil and rock by the waving of trees in the wind and more drastically by tree blow-down;
- The wedging and loosening of locks of rocks and fragments from cliffs and open rock slopes; and
- The damming of channels and gullies by limbs, trunks and root masses, producing concentrations of debris in the channel, which may fail during periods of high run-off.

Drainage and Snow Storage – Drainage and snow removal are not anticipated to change significantly due to this project.

Lighting – Lighting requirements would be considered under a subsequent building permit application.

Non-motorized transportation – Non-motorized transportation is not anticipated to change significantly due to this project. The project is not anticipated to noticeably increase congestion on the sidewalks, nor does it impact bicycle operation.

Noise – This project is not anticipated to increase noise after completion.

Public Health or Safety – The project is located at the toe of a “severe hazard” area.



Figure 1: Landslide and Avalanche Area Map. The entire map is found in Attachment B. The white arrow indicates the subject parcel, which is shaded.

To understand what this means, we will review:

- The **definitions** of “severe” and “moderate hazard.”
- The **studies** that shaped our 1987 boundary maps.
- Construction requirements and feasibility.
- Upcoming changes to hazard studies and mapping.
- A review of applicable code.
- Considerations for this project.

Definitions

Juneau’s hazard maps delineate two areas: a “severe landslide/avalanche area,” and a “moderate landslide/avalanche area.” These characterizations were made by combining the discrete hazard definitions for avalanche and mass wasting.

The purpose of the composite hazard rating system was to (Summary Report, 1972):

- Identify areas wherein the aggregate, life and property are exposed to high, moderate and low hazards.
- Provide a basis for prioritizing collective and preventative measures.

Table 2 below shows how the two discrete hazard scenarios were conflated.

Table 2: Conflated Hazards, Avalanche and Mass Wasting

		Snow Avalanche Hazard Classifications		
		High Hazard	Potential Hazard	No Hazard
Mass Wasting Hazard Classifications	High Hazard	Very High Hazard	High Hazard	High Hazard
	Potential Hazard	High Hazard	Potential Hazard	Potential Hazard
	No Hazard	High Hazard	Potential Hazard	No Hazard

This table accompanied a map that illustrated areas of No Hazard, Potential Hazard, and High Hazard. The map was broken down into smaller area maps and adopted by the Assembly in 1987.

Table 3 below summarizes the criteria for the different degrees of hazard for an avalanche (Summary Report, 1972). The asterisk by the column "Probability of Occurrence" references the reader to Section A of the report. That section clarifies that while estimates of probability can be established scientifically, individual natural events are random and may fall outside of projections, and that probability does not constitute a forecast.

Table 3: Tabulation of Snow Avalanche Criteria from Geophysical Hazards Investigation for the City and Borough of Juneau, Alaska: A Summary Report. Daniel, Mann, Johnson and Mendenhall. Portland, OR. October 1972.

Zone	Zone Characterized As:	Return Period	Damage will Result to Structures not Capable of Withstanding the Wind/Snow Pressures Listed Below	Probability of Occurrence*
No Hazard	Free of Avalanche Hazard	None	20 lb/ft ² wind pressure (= Approx. 70 mph wind)	
Potential Hazard	Avalanches Occur Seldom But May be Powerful	More than 90 yrs.	More than 600 lb/ft ² snow pressure (= More than 350 mph wind)	less than 1% per year
		or More than 30 yrs.	200-600 lb/ft ² snow pressure (= Approx. 220-350 mph wind)	less than 3% per year
		or Less than 30 yrs.	20-200 lb/ft ² snow pressure (= Approx. 70-220 mph wind)	more than 3% per year
High Hazard	Frequent and Powerful Avalanches	Less than 30 yrs.	200-600 lb/ft ² snow pressure (= Approx. 220-350 mph wind)	more than 3% per year
		or Less than 90 yrs.	More than 600 lb/ft ² snow pressure (= More than 350 mph wind)	more than 1% per year

The definitions for landslides, or “mass wasting,” are more intuitive:

Areas classified as high hazard demonstrate a history of landslides, and have channels or gullies containing substantial amounts of accumulated debris. This accumulation of debris, while temporarily stabilized, will eventually come down into the area below. No predication can be made of when the slide will occur.

Areas classified as potential hazard also exhibit a history of landslides, but the channels or gullies present are relatively free from debris.

Studies

The collection of studies done regarding geophysical hazards in Juneau can be found here:

<http://www.juneau.org/cddftp/GeophysicalHazards.php>

Applicable studies include:

- ADOPTED: Geophysical Hazards Investigation for the City and Borough of Juneau, Alaska: A Summary Report. Daniel, Mann, Johnson and Mendenhall. Portland, OR. October 1972.
- ADOPTED: Geophysical Hazards Investigation for the City and Borough of Juneau, Alaska: Technical Supplement. Daniel, Mann, Johnson and Mendenhall. Portland, OR. October 1972.
- NOT ADOPTED: Juneau Area Mass-Wasting & Snow Avalanche Hazard Analysis. Mears, Art; Fessler, Doug; and Fredson, Jill. Gunnison, CO and Anchorage, AK. February 1992.

Construction requirements and feasibility

The Technical Supplement (1972) states that damage in urban areas can be controlled through:

- Construction of barriers and channels to trap debris and reduce velocity, and
- Building design requirements that include anchoring in bedrock, reinforced concrete structures, buttressed concrete walls, or skeletal walls that could be punched out by a mass wasting event.

While anything can be built to withstand severe hazards, Juneau’s Emergency Programs Manager recognizes there is a point where mitigation costs are prohibitive. If the proposed project included an area where mitigation measures would provide leverage, they might be worth including. This 800 square foot expansion on the downhill side of the hazard area does not include apparent significant structural modifications to the rest of the building.

Review of applicable code

CBJ code outlines construction standards for development in areas of geophysical hazard. If this project was approved through the Conditional Use Permit, the next step is a Development and Building Permit, which would be reviewed for how proposed improvements comply with

code, such as those regarding geophysical hazards.

49.70.910 - Geophysical hazards.

- (a) Surface modification that would induce excessive erosion, undermine the support of nearby land or unnecessarily scar the landscape is prohibited. Any other modification shall be limited to the smallest extent that is needed for development.*
- (b) Development in areas having known hazards may not be approved until siting, design, and construction measures for minimizing property damage and protecting against loss of life have been provided.*
- (c) Developers shall retain existing vegetative cover to the greatest extent feasible and prudent. In cases where development necessitates removal of vegetation, erosion shall be prevented through revegetation or, if revegetation is not feasible, by other appropriate measures.*
- (e) Mitigating measures are required for development in areas of moderate hazard. These may include dissipating structures or dams, appropriate structural engineering, or other techniques that respond to the specific site hazards.*

(Serial No. 87-49, § 2, 1987)

49.70 Article III – “Sensitive Areas” specifically addresses development in a landslide or avalanche area.

49.70.300 - Landslide and avalanche areas.

- (a) Generally.*
- (1) Development in all landslide and avalanche areas shall minimize the risk of loss of life or property due to landslides and avalanches.*
- (2) Boundaries of potential and severe avalanche areas will be as shown on the landslide and avalanche area maps dated September 9, 1987, consisting of sheets 1—8, as the same may be amended from time to time by the assembly by ordinance.*
- (3) Notwithstanding any other provision, all subdivision other than a boundary line relocation and all development greater than a single-family dwelling within landslide or avalanche areas shall require a conditional use permit.*
- (4) If a developer disagrees with the boundaries shown on the maps, the developer may seek departmental relocation of the boundaries by submitting site-specific studies prepared by a civil engineer experienced in avalanche and landslide analysis. Such studies shall include detailed analyses of topography, vegetation, potential snow accumulation, and other factors. The results should indicate actual hazard area boundaries and*

potential debris flow direction, time, distance and mass. If, in the opinion of the city engineer, the studies clearly establish that the map boundaries are inaccurate and the proposed development is outside a severe avalanche area or outside any avalanche or landslide area, the department shall proceed accordingly.

- (5) *The commission may require mitigating measures certified as effective by a professional engineer for development in landslide and avalanche areas. Such measures may include dissipating structures or dams, special structural engineering, or other techniques designed for the site. Mitigating measures may also include reduction in the proposed density.*
- (b) *Severe avalanche areas.*
- (1) *Notwithstanding any other provision, no development or any part of a development, which is within a severe avalanche area shall, by the addition of bedrooms, conversions of buildings, or otherwise, increase the density of that parcel; provided, however, that a single-family house may be constructed on a vacant lot.*
- (2) *No subdivision shall be approved which creates a lot lacking sufficient building space outside a severe avalanche area.*
- (c) *Warning and disclaimer of liability. Avalanches and landslides may occur outside hazard areas in excess of engineering expectations. The location and severity of the event may be increased by manmade or natural causes. This article does not imply that land outside of designated hazard areas, or uses permitted within such areas, will be free from danger or damage. This article shall not create liability on the part of the City and Borough of Juneau or any officer or employee thereof for any damages that result from reliance of this article or any administrative decision lawfully made under this article.*

(Serial No. 87-49, § 2, 1987; Serial No. 90-03, § 1, 1990; Serial No. 2006-15, § 23, 6-5-2006)

Considerations for this project

- Assuming a tourist-oriented retail endeavor eventually occupies the site, the increased number of people on the site will be highest between May and September, when the weather-related risks are generally low.
- Even if the site was determined to be moderately hazardous, the possible improvements (building into the hillside so flows go over, reinforcing the roof) are not in the scope of this project.
- Risk can be mitigated operationally by monitoring risk factors and vacating the property when risks are high.

Habitat – There are no known habitats regulated by the Land Use Code on this site.

Property Value or Neighborhood Harmony – The project is anticipated to be in harmony and character of the surrounding uses. This project is located in an area that consists of retail primarily

serving residents and tourists, restaurants, and drinking establishments.

Conformity with Adopted Plans –

Comprehensive Plan

Chapter 5 – Economic Development

POLICY 5.6. TO ENCOURAGE TOURISM, CONVENTION AND OTHER VISITOR-RELATED ACTIVITIES THROUGH THE DEVELOPMENT OF APPROPRIATE FACILITIES AND SERVICES, WHILE PROTECTING JUNEAU’S NATURAL, CULTURAL AND ECONOMIC ATTRACTIONS FOR LOCAL RESIDENTS AND VISITORS ALIKE, AND TO PARTICIPATE IN THE ACCOMMODATION OF THE FUTURE GROWTH OF TOURISM IN A MANNER THAT ADDRESSES BOTH COMMUNITY AND INDUSTRY CONCERNS.

Development Guideline 5.6

DG2 When considering capital improvements and when reviewing permit applications for tourism-related developments, assess the costs and benefits of the proposed projects against the policies of this Comprehensive Plan and any CBJ-adopted Tourism Management Plan or BMPs.

Implementing Action 5.6

IA6 Encourage local private businesses to meet demand for varied and interesting tourism experiences.

Chapter 10 - Land Use

POLICY 10.9. TO ENCOURAGE AND STRENGTHEN JUNEAU’S POSITION AS AN INTERNATIONAL VISITOR DESTINATION BY PROTECTING THE RESOURCES AND ASSETS THAT MAKE IT ATTRACTIVE TO VISITORS, INCLUDING ITS NATURAL ENVIRONMENT, SCENIC BEAUTY, CULTURAL DIVERSITY, HISTORIC RESOURCES AND DIVERSITY OF ACTIVITIES AND EXPERIENCES. VISITOR DESTINATIONS SHOULD CONVEY AUTHENTIC JUNEAU WILDERNESS, RECREATION, HISTORY AND CULTURAL ARTS EXPERIENCES WHILE PROTECTING THOSE RESOURCES FROM OVERUSE AND DEPLETION.

Development Guideline 10.9

DG1 When reviewing permits for visitor destinations and related tourism industry activities, identify and seek to mitigate off-site impacts.

Implementing Action 10.9

IA3 The CBJ should support citizen initiatives investigating ways to revitalize the downtown Juneau area.

Downtown Historic District Design Standards & Guidelines

The activity proposed in this Conditional Use Permit application is consistent with historical standards for the downtown area.

Upon approval of this Conditional Use Permit, Development Permit and Building Permit applications would be required, and would provide the opportunity to verify compliance with historical design standards.

The existing building is a “non-contributing” property, meaning it does not contribute to the historical significance of the area. The property must be compatible with the character of the district, and guidelines for new construction will apply.

FINDINGS

CBJ 49.15.330 (e)(1), Review of Director's Determinations, states that the Planning Commission shall review the Director's report to consider:

1. Whether the application is complete;
2. Whether the proposed use is appropriate according to the Table of Permissible Uses; and,
3. Whether the development as proposed will comply with the other requirements of this chapter.

The Commission shall adopt the Director's determination on the three items above unless it finds, by a preponderance of the evidence, that the Director's determination was in error, and states its reasoning for each finding with particularity.

CBJ 49.15.330 (f), Commission Determinations, states that even if the Commission adopts the Director's determination, it may nonetheless deny or condition the permit if it concludes, based upon its own independent review of the information submitted at the public hearing, that the development will more probably than not:

1. Materially endanger the public health or safety;
2. Substantially decrease the value of or be out of harmony with property in the neighboring area; or,
3. Not be in general conformity with the comprehensive plan, thoroughfare plan, or other officially adopted plans.

Per CBJ 49.15.330 (e) & (f), Review of Director's & Commission's Determinations, the Director makes the following findings on the proposed development:

1. Is the application for the requested conditional use permit complete?

Yes. Staff finds the application contains the information necessary to conduct full review of the proposed operations. The application submittal by the applicant, including the appropriate fees, substantially conforms to the requirements of CBJ Chapter 49.15.

2. Is the proposed use appropriate according to the Table of Permissible Uses?

Yes. The requested permit is appropriate according to the Table of Permissible Uses. The use for retail establishment is listed at CBJ 49.25.300, Section 2.1 or 2.2 for the MU zoning district.

3. Will the proposed development comply with the other requirements of this chapter?

Yes. The proposed development complies with the other requirements of this chapter. Public notice of this project was provided in the Friday, October 4, 2019 and Sunday, October 13, 2019 issues of the Juneau Empire's "Your Municipality" section, and a Notice of Public Hearing was mailed to all property owners within 500 feet of the subject parcel. Moreover, a Public Notice Sign was posted on the subject parcel, visible from the public Right-of-Way.

4. Will the proposed development materially endanger the public health or safety?

No. This finding hinges on the idea of "materially endanger." "Materially" is taken to mean "significant or substantial." "Endanger" is "to bring into danger or peril."

Development in a hazard area increases danger to users in certain circumstances – in this case, in the event of high precipitation or snowmelt, which would trigger a mass wasting event. These circumstances can be monitored, and actions can be taken by individual property owners to mitigate danger. People who might not be aware of the hazard because they are not from here will generally be visiting during the tourist season when the hazard is low. For these reasons, the resultant endangerment is not "material."

5. Will the proposed development substantially decrease the value of or be out of harmony with property in the neighboring area?

No. This proposed retail would be in harmony with other uses in the neighborhood, which include retail, restaurants, and bars.

6. Will the proposed development be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans?

Yes. The proposed use is in conformity with existing plans. Subsequent permitting for the

construction of the building will provide an opportunity to verify compliance with any structural requirements for building in a hazard area, and for confirming compliance with Historical District design standards.

Per CBJ 49.70.900 (b)(3), General Provisions, the Director makes the following Juneau Coastal Management Program consistency determination:

7. Will the proposed development comply with the Juneau Coastal Management Program?

N/A

RECOMMENDATION

It is recommended that the Planning Commission adopt the Director's analysis and findings and approve the requested Conditional Use Permit. The permit would allow the addition of 800 square feet to an existing 2,500 square foot building, and allow remodel of that building into three retail units. The approval is subject to the following condition:

1. Prior to issuance of a Building Permit, the applicant must record the plat for the lot consolidation (SLC2019 0003);
2. Prior to issuance of a Building Permit, the applicant must provide parking that meets the Land Use Code requirements;
3. Prior to issuance of a Building Permit, the applicant must provide a lighting plan that meets Land Use Code requirements, with review and approval by the Historic Resources Advisory Committee;
4. Prior to issuance of a Building Permit, the applicant must receive approval of the project design by the Historic Resources Advisory Committee.

Attachment A - Application

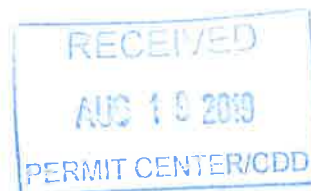


DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address <u>207 FRANKLIN ST.</u> <u>207 S. Franklin St.</u>		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) <u>JUNEAU TOWNSHIP BLK K LTS 132</u>		
	Parcel Number(s) <u>1C07080K0010</u>		
	<input checked="" type="checkbox"/> This property located in the downtown historic district <input checked="" type="checkbox"/> This property located in a mapped hazard area, if so, which <u>LANDSLIDE / AVALANCHE</u>		
	LANDOWNER/LESSEE		
	Property Owner <u>JMY, LLC</u>	Contact Person <u>Paul Brooks</u>	
	Mailing Address <u>see below</u>	Phone Number(s) <u>see below</u>	
	E-mail Address <u>see below</u>		
	LANDOWNER/LESSEE CONSENT Required for Planning Permits, not needed on Building/ Engineering Permits		
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.			
X <u>Hendricka Flanagan, Manager for JMY, LLC</u> Landowner/Lessee Signature		Date <u>July 3, 2019</u>	
X <u>[Signature]</u> Landowner/Lessee Signature		Date	
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.			
APPLICANT If the same as OWNER, write "SAME"			
Applicant <u>PAUL BROOKS - ISLAND CONTRACTORS</u>		Contact Person	
Mailing Address <u>PO BOX 241036 DOUGLAS AK 99824</u>	Phone Number(s) <u>907-209-0854</u>		
E-mail Address <u>PAUL@ISLANDCONTRACTORS-AK.COM</u>			
X <u>Paul Brooks</u> Applicant's Signature		Date of Application	

DEPARTMENT USE ONLY BELOW THIS LINE



This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Case Number

Intake Initials

LC

Date Received

AUG 19 2019



ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

PROJECT SUMMARY

Add approx 800 sq ft to existing 2500 sq ft structure
and creating ③ retail spaces approx 1100 sq ft ea

TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED

- ☐ Accessory Apartment – Accessory Apartment Application (AAP)
☐ Use Listed in 49.25.300 – Table of Permissible Uses (USE)

Table of Permissible Uses Category: Retail Store

IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?

☐ YES – Case # _____

☒ NO

UTILITIES PROPOSED

WATER: ☒ Public ☒ On Site

SEWER: ☒ Public ☒ On Site

SITE AND BUILDING SPECIFICS

Total Area of Lot 6830 square feet Total Area of Existing Structure(s) 2500 square feet

Total Area of Proposed Structure(s) 800 square feet

EXTERNAL LIGHTING

Existing to remain
Proposed

☒ No
☐ No

☐ Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures
☐ Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

ALL REQUIRED DOCUMENTS ATTACHED

☒ Narrative including:

- ☒ Current use of land or building(s)
☒ Description of project, project site, circulation, traffic etc.
☒ Proposed use of land or building(s)
☒ How the proposed use complies with the Comprehensive Plan

If this is a modification or extension include:

- ☐ Notice of Decision and case number
☐ Justification for the modification or extension
☐ Application submitted at least 30 days before expiration date

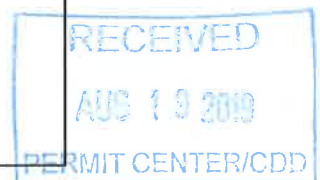
☒ Plans including:

- ☒ Site plan
☒ Floor plan(s)
☒ Elevation view of existing and proposed buildings
☒ Proposed vegetative cover
☒ Existing and proposed parking areas and proposed traffic circulation Parking Fee
☒ Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

DEPARTMENT USE ONLY BELOW THIS LINE

ALLOWABLE/CONDITIONAL USE FEES

	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>500.00</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ <u>50.00</u>			
Pub. Not. Sign Deposit	\$ <u>100.00</u>			
Total Fee	\$ <u>650.00</u>			



This form and all documents associated with it are public record once submitted.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number

USE 19-020

Date Received

LL Aug 19, 2019

NARRATIVE -

The building is vacant and not being used.

Project consist of adding approx 800 sq ft
to existing building to create ③ retail spaces

Proposed use complies with downtown retail
comprehensive plan.





(907) 586-0715
CDD Admin@juneau.org
www.juneau.org/CDD
155 S. Seward Street • Juneau, AK 99801

S Franklin Lot Consolidation and CUP for Severe Landslide/Avalanche Area

Case Number: PAC20190045

Applicant: Paul Brooks

Property Owner: JNY LLC

Property Address: 207 S Franklin St

Parcel Code Number: 1C070B0K0010 (two legal lots with one assessors tax ID)

Site Size: 6,802

Zoning: MU

Existing Land Use: Commercial Retail

Conference Date: 6/26/2019

Report Issued: 6/27/2019

List of attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Paul Brooks	Applicant	paul@islandcontractorsak.com
Laurel Christian	Planning	laurel.christian@juneau.org
John Young	Building	John.young@juneau.org
Autumn Sapp	General Engineering	Autumn.sapp@juneau.org
Eddie Quinto	Permit Specialist	Edward.quinto@juneau.org



Conference Summary

Questions/issues/agreements identified at the conference that were not identified in the attached reports. The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Planning Division:

1. **Lot Consolidations (CBJ 49.15.403)** – When a new plat is required, lot consolidations shall follow the minor subdivision process. The most recent recorded plat that CDD has on file is from 1934 (Plat 1934-1). This plat does not adequately show the parcel in question. **A new plat will be required for this lot consolidation and this consolidation will follow the minor subdivision process.**
2. **Zoning** – The subject parcel is in the Mixed Use zoning District (MU). The minimum lot size in the MU zoning district is 4,000 square feet. Minimum lot width is 50' and minimum lot depth is 80'. It appears that once the lots are consolidated, they will meet these requirements.
3. **Downtown Historic District** – Parcel is within the Downtown Historic District. Design standards apply for new construction. This will be reviewed at the building permit stage; a review by the Historic Resources Advisory Committee will be required when a building permit application is submitted. Regulations can be found here:
http://www.juneau.org/history/documents/FINAL_DHDDSG_ASSEMBLYADOPTION_1072009.pdf
4. **Setbacks** – There are no required setbacks in the MU zoning district.
5. **Height** – There is no height limit in the MU zoning district.
6. **Access** – Access is provided from S Franklin St.
7. **Parking & Circulation**– (check if in Juneau / Douglas Geographic area)
 - a. PD1 Parking District – Parcel is within the PD1 parking district. Parking requirements do not apply to the existing building; for the expanded building area, the parking requirement can be reduced by 60%. This will be reviewed when a development proposal is submitted for the expansion of the building.
 - b. Based on sketches provided by the applicant at the pre-application conference, the proposed addition would be approximately 800 square feet of retail-commercial space. 1 space per 300 square feet of retail commercial space is required. The addition would require 2.66 parking spaces; however, in the PD1 parking district, this parking requirement can be reduced by 60%. This project would therefore require one parking space. This space would need to be ADA van accessible. Options for parking:
 - i. Fee in-lieu of parking: The applicant can pay a 1-time fee to the CBJ per parking space. If the fee is paid, no parking is required on-site. *what is the fee per parking space?*
 - ii. The commission may authorize joint use parking facilities off-site. This must be within 500 feet walking distance to the building on the parcel.
 - iii. The applicant can apply for a variance to the parking requirement; this would require a hearing before the Planning Commission.
8. **Lot Coverage** – No maximum in the MU zoning district.
9. **Vegetative Coverage** – There is no required vegetated cover in the MU zoning district.
10. **Lighting** – Any exterior lighting that is installed as part of this project must be of full cut-off design and must not produce glare onto neighboring properties.
11. **Flood** – (check floodplain) – NA.

Pre-Application Conference Final Report

12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – Parcel is located in the severe landslide/avalanche area special regulations in CBJ 49.70.300 apply. The addition to the structure will require a Conditional Use permit to be issued by the Planning Commission. All development greater than a single-family dwelling requires a conditional use permit when the development is located in the severe landslide/avalanche area.
13. **Plat or Covenant Restrictions** – No known at this time.

Building Division:

14. **Building** – Plans will be reviewed through the building permit review
15. **Outstanding Permits** – BLD1998-00115 – Architectural and structural changes to BLD98-00060 and electrical plans

General Engineering/Public Works:

16. **Engineering** – NA
17. **Drainage** – NA
18. **Utilities** – NA

Fire Marshal:

19. **Fire Items/Access** – N/A

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Lot Consolidation Application: <http://www.juneau.org/cddftp/documents/SubdivisionApplication.pdf>
2. Development Permit Application: <http://www.juneau.org/cddftp/documents/DPA.pdf>
3. Conditional Use Permit Application: <http://www.juneau.org/cddftp/documents/USE-Allowable-ConditionalUse.pdf>

Additional submittal requirements:

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. A new survey plat is required for this lot consolidation.
3. Preliminary plat checklist.
4. An as-built survey will be required to be submitted with the preliminary plat to show existing structures in relation to new property lines.
5. All items listed on the Conditional Use Permit Application

Fee estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees that will be triggered by your proposal.

1. Subdivision creating no additional lots: \$110.00 plus \$25 for each lot changed (\$160.00 total).

Attachment A - Application

Pre-Application Conference Final Report

2. Conditional Use Permit Application: \$500.00 for Class II Uses.
3. Public Notice Sign Fee: \$50.00 plus \$100.00 refundable deposit (\$150.00 total).

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/cdd.

Submit your completed application

You must submit your application(s) in person with payment to:

City/Borough of Juneau
Permit Center
230 S. Franklin Street,
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715
Fax: (907) 586-4529
Web: www.juneau.org/cdd

TDP OF PARAPET 18'-6"

MATCH EXISTING CANOPY
AND METAL ROOFING

207 FRANKLIN
STREET

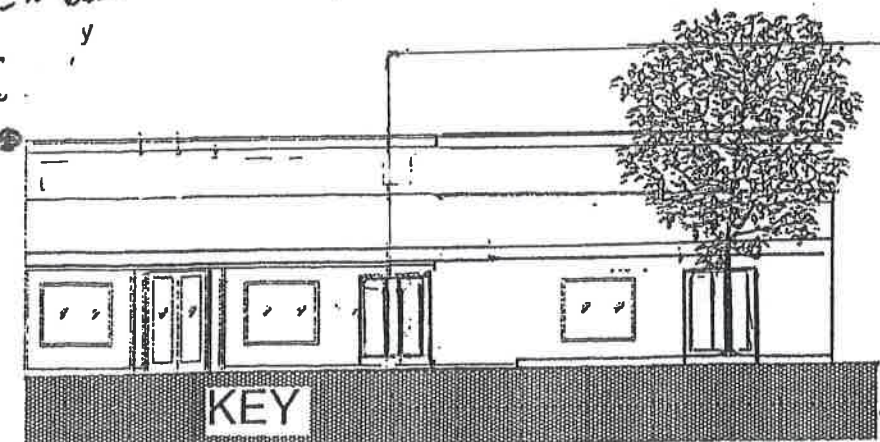
NOTE: MATCH EXISTING
wall shall be hardiplank painted.
Contractor shall match adjacent
cedar siding spacing. If this can not be
executed then side w/ cedar.

NOTE: REPAINT EXTERIOR
Cedar and matching hardiplank profiles
are to be chosen by contractor and
approved by architect.



MATCH EXISTING DOORS
72" W X 80" H DBL
FULL LITE

18'-6"



KEY

ELEVATION A

Attachment A - Application

RICH CONNEEN
REGISTERED ARCHITECT
7099 N. Douglas Hwy.
Juneau, AK. 99801
586-3180 (T) 586-3182

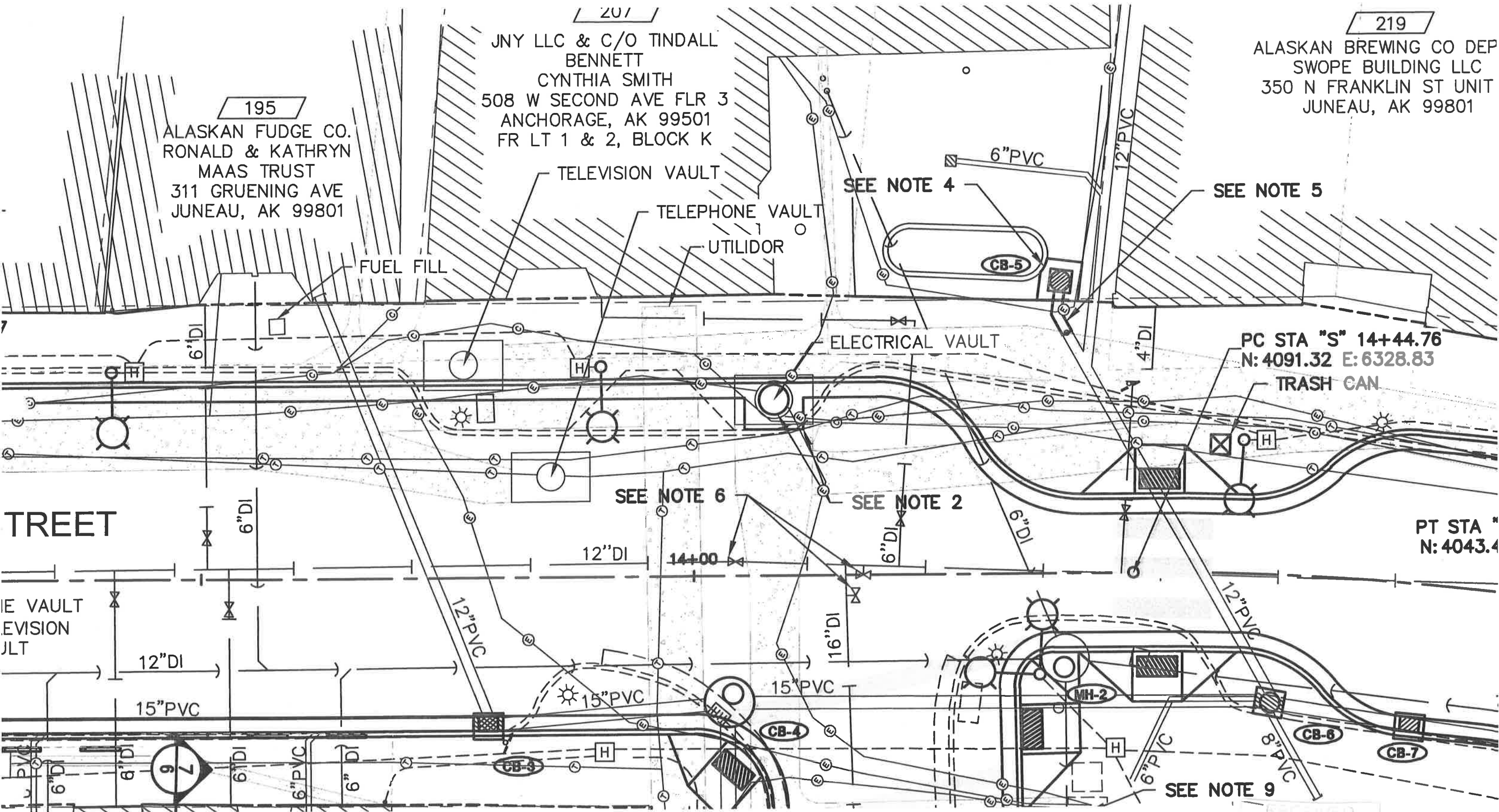
207 S. FRANKLIN ST.
JUNEAU, ALASKA

ELEVATIONS

NO.	DESCRIPTION	DATE

Date: 3-10-10
Scale: 1/4" = 1'-0"
Sheet:

A-2



195
ALASKAN FUDGE CO.
RONALD & KATHRYN
MAAS TRUST
311 GRUENING AVE
JUNEAU, AK 99801

201
JNY LLC & C/O TINDALL
BENNETT
CYNTHIA SMITH
508 W SECOND AVE FLR 3
ANCHORAGE, AK 99501
FR LT 1 & 2, BLOCK K

219
ALASKAN BREWING CO DEP
SWOPE BUILDING LLC
350 N FRANKLIN ST UNIT
JUNEAU, AK 99801

TREET

IE VAULT
EVISION
JLT

RECEIVED
AUG 1 2010
PERMIT CENTER/CDD

WIRING

- JUNCTION BOX
- CONDUIT CONCEALED IN CEILING OR WALL
- CONDUIT CONCEALED IN FLOOR OR UNDER SLAB
- HOT CONDUCTOR
- NEUTRAL CONDUCTOR
- GROUND CONDUCTOR
- ISOLATED GROUND CONDUCTOR
- HOMERUN TO INDICATED DESTINATION
- FLEXIBLE CONDUIT CONNECTION

NOTE: WIRING NOT SHOWN WHERE ONLY A HOT, NEUTRAL, AND GROUND ARE REQUIRED.

LIGHTING

- RECESSED LUMINAIRE
- EMERGENCY LIGHT
- EXIT SIGN

SWITCHING

- TOGGLE SWITCH

SIGNAL

- DATA OUTLET

POWER DEVICES

- DUPLEX RECEPTACLE

DISTRIBUTION

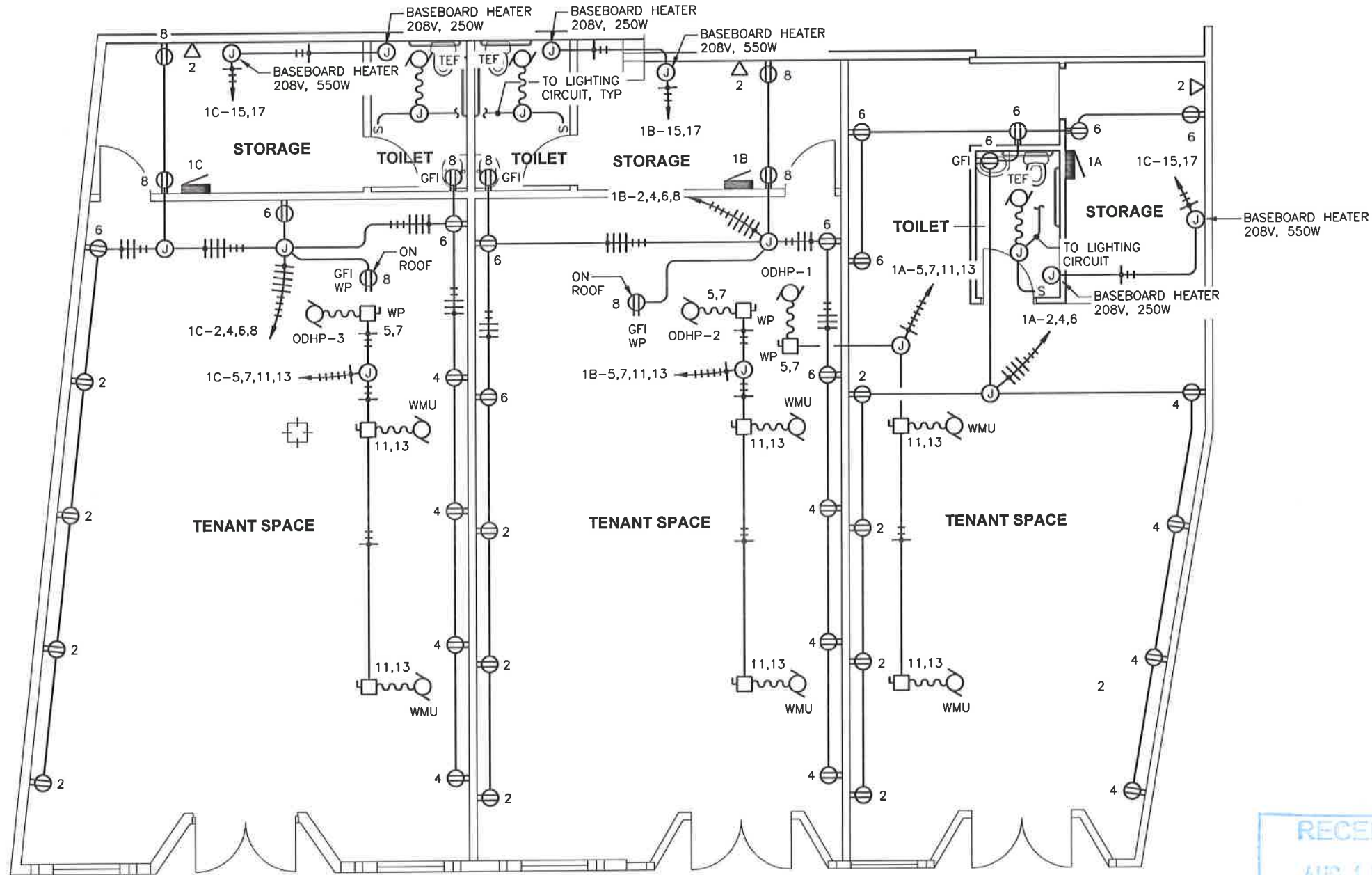
- BRANCH CIRCUIT PANELBOARD
- MOTOR CONNECTION
- DISCONNECT SWITCH
- FUSED DISCONNECT SWITCH
- COMBINATION STARTER
- STARTER OR CONTACTOR

REFERENCE SYMBOLS

- SHEET NOTE REFERENCE
- DETAIL REFERENCE
- EXISTING
- NEW
- DEMOLISH
- RELOCATE
- REPLACE
- REMOVE AND SALVAGE

ABBREVIATIONS

- A AMPERES
- C CONDUIT
- FLA FULL LOAD AMPERES
- GFI GROUND FAULT CIRCUIT INTERRUPTER
- G GROUND
- HP HORSEPOWER
- KW KILOWATTS
- KVA KILOVOLT-AMPERES
- N NEUTRAL (GROUNDED CONDUCTOR)
- PH PHASE
- TYP TYPICAL
- V VOLTS
- W WATT
- WP WEATHERPROOF



1 POWER AND SIGNAL PLAN
SCALE: 1/4" = 1'-0"

SCALE: 0 2' 4' 8'



STATE OF ALASKA
49th
Barry J. Begenyi
Professional Engineer
EE 10453
JUNE 4, 2019

BEGENYI
ENGINEERING, LLC

217 2nd ST, STE 208, JUNEAU, AK 99801
PH: (907) 586-5900 / FAX: (907) 586-5901

REVISION	DESCRIPTION	DATE

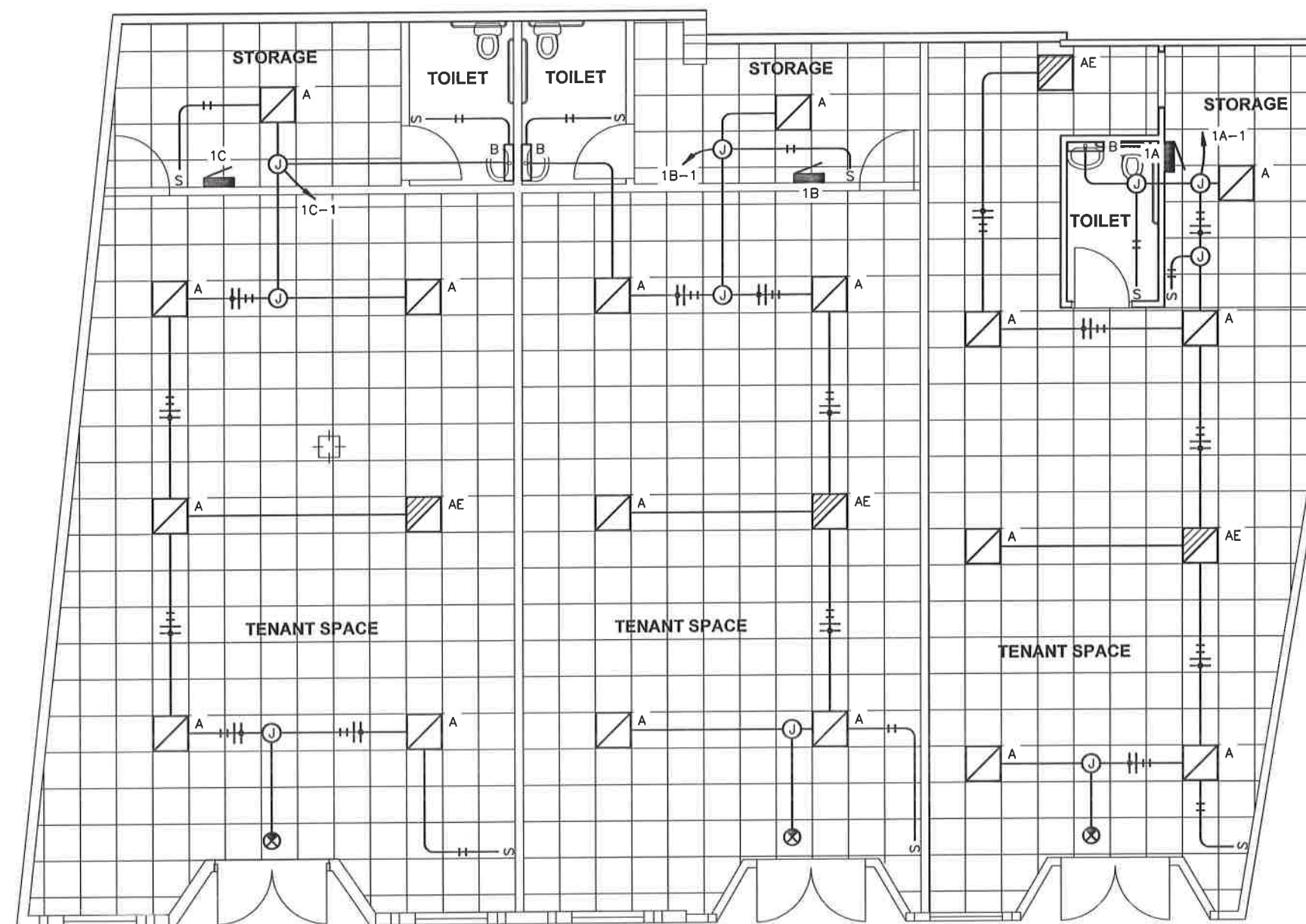
PROJECT NO: 200-18
207 South Franklin Street
Addition and Renovation

SHEET TITLE
Power and Signal Plan

DRAWING NUMBER	SCALE
E201	AS NOTED
	DATE
	JUNE 4, 2019

NOTES:

1. LIGHT FIXTURE TYPE A: RECESSED 2X2 LED TROFFER, LITHONIA LIGHTING 2GTL 2 40L A12125 GZ10 LP835, OR SIMILAR.
2. LIGHT FIXTURE TYPE AE: SAME AS TYPE A WITH EMERGENCY BATTERY OPTION EL14L, OR SIMILAR.
3. LIGHT FIXTURE TYPE B: 2'L LED WALL BRACKET, LITHONIA LIGHTING WL2 22L GZ10 LP835, OR SIMILAR.
4. EXIT SIGN: THERMOPLASTIC WITH RED LETTERS, EMERGENCY BATTERY, DIAGNOSTICS, LITHONIA LIGHTING EXR LED EL M6, OR SIMILAR.

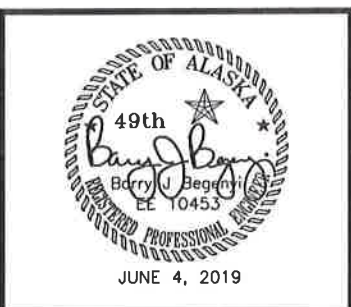


1 LIGHTING PLAN
SCALE: 1/4" = 1'-0"

SCALE: 0 2' 4' 8'



PLAN NORTH



REVISION	DESCRIPTION	DATE

PROJECT NO: 200-18
207 South Franklin Street
Addition and Renovation

SHEET TITLE
Lighting Plan

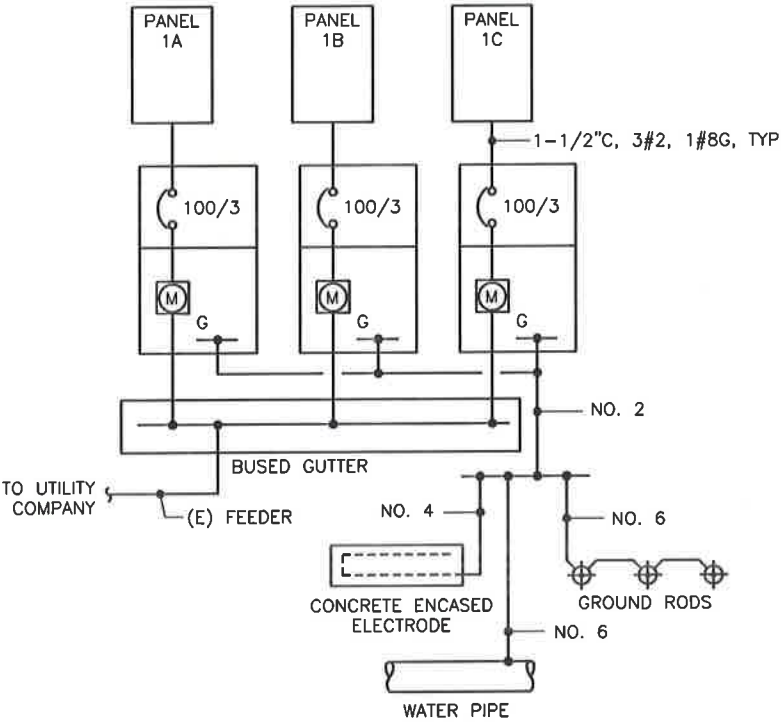
DRAWING NUMBER	SCALE
E301	AS NOTED
DATE	JUNE 4, 2019



PANEL 1A										
POLE NO.	LOAD SERVED	LOAD		CB	PH	CB	LOAD		LOAD SERVED	POLE NO.
		TYPE	KVA					KVA		
1	LIGHTING	L	0.3	20/1	A	20/1	R	0.7	RECEPTACLES	2
3	HWH	C	2.0	30/1	B	20/1	R	0.7	RECEPTACLES	4
5	ODHP-1	M	2.1	30/2	C	20/1	R	1.1	RECEPTACLES	6
7	----	M	2.1	---	A	20/1			SPARE	8
9	TEF	M	0.1	15/1	B	20/1			SPARE	10
11	WMU	M	0.1	15/2	C	20/1			SPARE	12
13	----	M	0.1	---	A	20/1			SPARE	14
15	BASEBOARD HEATERS	C	0.4	15/2	B	20/1			SPARE	16
17	----	C	0.4	---	C	20/1			SPARE	18
VOLTAGE: 120/208V, 3P,4W		LOAD SUMMARY		CONNECTED LOAD (KVA)	DEMAND FACTOR		DEMAND KVA		NOTES:	
AIC RATING: 10,000		(L) LIGHTING		0.3	100% OF LOAD		0.3			
		(R) RECEPTACLE		2.5	NEC 220-44		2.5			
MOUNTING: SURFACE		(M) MOTOR		4.5	NEC 430-24		5.6			
		(C) CONTINUOUS		2.8	125% OF LOAD		3.5			
MAIN: 100/3		(N) NON-CONTINUOUS		.	100% OF LOAD		.			
		(K) KITCHEN		.	NEC 220-56		.			
BUS: 100A		TOTAL		.			12.0			

PANEL 1C										
POLE NO.	LOAD SERVED	LOAD		CB	PH	CB	LOAD		LOAD SERVED	POLE NO.
		TYPE	KVA					TYPE		
1	LIGHTING	L	0.3	20/1	A	20/1	R	0.7	RECEPTACLES	2
3	HWH	C	2.0	30/1	B	20/1	R	0.7	RECEPTACLES	4
5	ODHP-3	M	2.1	30/2	C	20/1	R	0.5	RECEPTACLES	6
7	----	M	2.1	--	A	20/1	R	0.4	RECEPTACLES	8
9	TEF	M	0.1	15/1	B	20/1			SPARE	10
11	WMU	M	0.1	15/2	C	20/1			SPARE	12
13	----	M	0.1	--	A	20/1			SPARE	14
15	BASEBOARD HEATERS	C	0.4	15/2	B	20/1			SPARE	16
17	-----	C	0.4	--	C	20/1			SPARE	18
VOLTAGE: 120/208V, 3P,4W		LOAD SUMMARY		CONNECTED LOAD (KVA)	DEMAND FACTOR		DEMAND KVA		NOTES:	
AIC RATING: 10,000		(L) LIGHTING		0.3	100% OF LOAD		0.3			
		(R) RECEPTACLE		2.3	NEC 220-44		2.3			
MOUNTING: SURFACE		(M) MOTOR		4.5	NEC 430-24		5.6			
		(C) CONTINUOUS		2.8	125% OF LOAD		3.5			
MAIN: 100/3		(N) NON-CONTINUOUS		.	100% OF LOAD		.			
		(K) KITCHEN		.	NEC 220-56		.			
BUS: 100A		TOTAL		.			11.7			

PANEL 1B											
POLE NO.	LOAD SERVED	LOAD		CB	PH	CB		LOAD		LOAD SERVED	POLE NO.
		TYPE	KVA					TYPE	KVA		
1	LIGHTING	L	0.3	20/1	A	20/1	R	0.5	RECEPTACLES	2	
3	HWH	C	2.0	30/1	B	20/1	R	0.5	RECEPTACLES	4	
5	ODHP-2	M	2.1	30/2	C	20/1	R	0.7	RECEPTACLES	6	
7	-----	M	2.1	--	A	20/1	R	0.4	RECEPTACLES	8	
9	TEF	M	0.1	15/1	B	20/1			SPARE	10	
11	WMU	M	0.1	15/2	C	20/1			SPARE	12	
13	-----	M	0.1	--	A	20/1			SPARE	14	
15	BASEBOARD HEATERS	C	0.4	15/2	B	20/1			SPARE	16	
17	-----	C	0.4	--	C	20/1			SPARE	18	
VOLTAGE: 120/208V, 3P,4W		LOAD SUMMARY		CONNECTED LOAD (KVA)		DEMAND FACTOR		DEMAND KVA		NOTES:	
AIC RATING: 10,000		(L) LIGHTING		0.3		100% OF LOAD		0.3			
MOUNTING: SURFACE		(R) RECEPTACLE		2.1		NEC 220-44		2.1			
		(M) MOTOR		4.5		NEC 430-24		5.6			
		(C) CONTINUOUS		2.8		125% OF LOAD		3.5			
MAIN: 100/3		(N) NON-CONTINUOUS		.		100% OF LOAD		.			
BUS: 100A		(K) KITCHEN		.		NEC 220-56		.			
		TOTAL		.				11.5			



MECHANICAL EQUIPMENT SCHEDULE													
TAG	DESCRIPTION	HP	KW	AMPS	VOLTS	PHASE	TOTAL KVA	WIRING	DISCONNECT	FUSE	CONTROL	STARTER SIZE	REMARKS
HWH	HOT WATER HEATER (3 TOTAL)		2.0		120	1	2.0	2#10, 1#10G	30/1				
ODHPU-1	OUTDOOR HEAT PUMP			20	208	1	4.2	2#10, 1#10G	30/2				
ODHPU-2	OUTDOOR HEAT PUMP			20	208	1	4.2	2#10, 1#10G	30/2				
ODHPU-3	OUTDOOR HEAT PUMP			20	208	1	4.2	2#10, 1#10G	30/2				
TEF	TOILET EXHAUST FAN (3 TOTAL)			0.1	120	1	0.1	2#12, 1#12G					
WMU	INDOOR HEAT PUMP (6 TOTAL)			0.6	208	1	0.1	2#12, 1#12G	30/2				



STATE OF ALASKA
49th
Barry J. Regenyi
Professional Engineer
No. 10453
JUNE 4, 2019

REGENYI
ENGINEERING, LLC

217 2nd ST, STE 208, JUNEAU, AK 99801
PH: (907) 586-5900 / FAX: (907) 586-5901

REVISION	DESCRIPTION	DATE

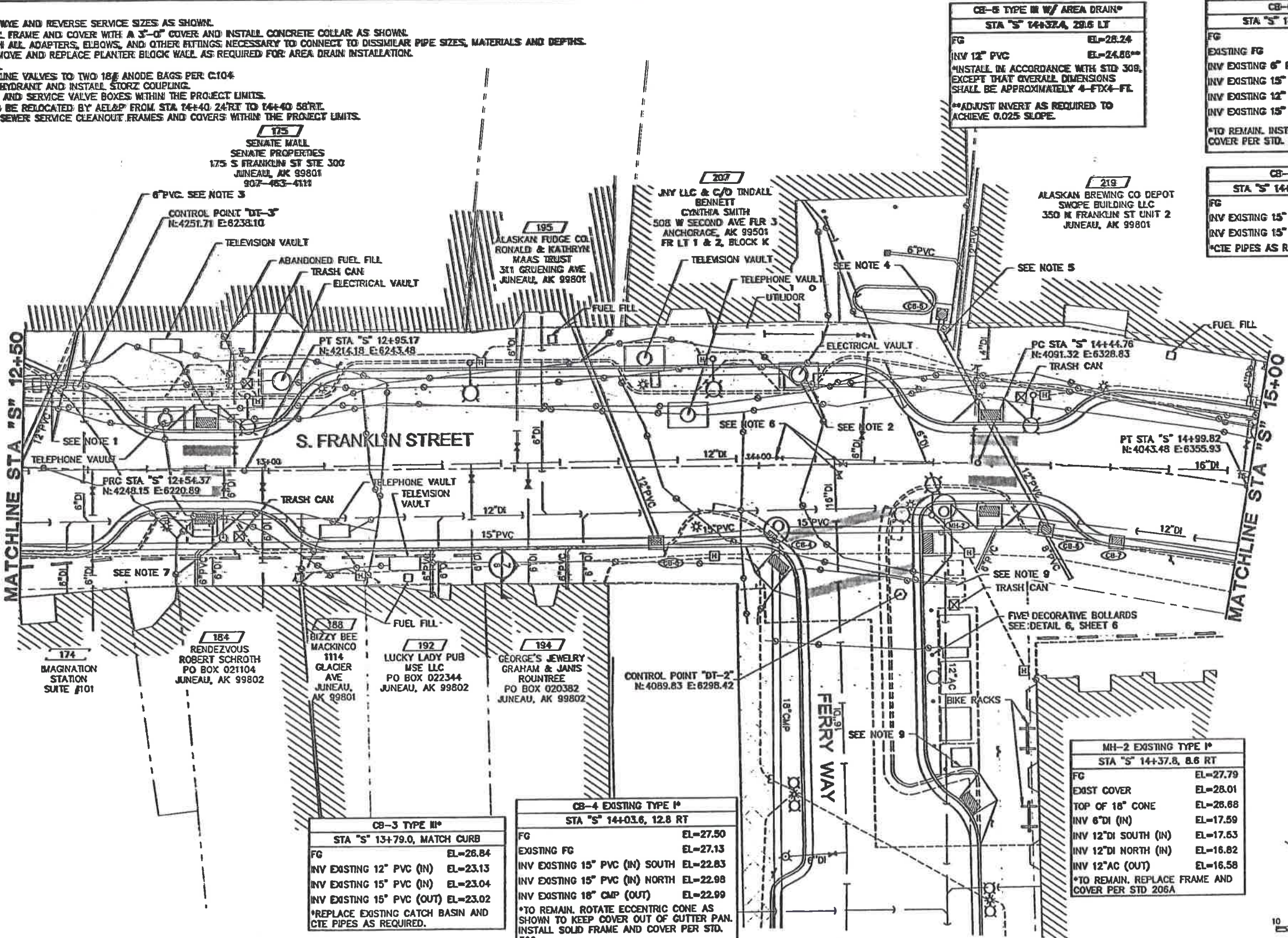
PROJECT NO: 200-18
207 South Franklin Street
Addition and Renovation

SHEET TITLE
Single Line Diagram and
Schedules

DRAWING NUMBER	SCALE AS NOTED
E401	DATE JUNE 4, 2019

NOTES:

- 1. REPLACE EXISTING 12"X6" WYE AND REVERSE SERVICE SIZES AS SHOWN.
- 2. REPLACE 3'-6" ELECTRICAL FRAME AND COVER WITH A 3'-0" COVER AND INSTALL CONCRETE COLLAR AS SHOWN.
- 3. CONNECT TO EXISTING WITH ALL ADAPTERS, ELBOWS, AND OTHER FITTINGS NECESSARY TO CONNECT TO DISSIMILAR PIPE SIZES, MATERIALS AND DEPTHS.
- 4. PROTECT IN PLACE OR REMOVE AND REPLACE PLANTER BLOCK WALL AS REQUIRED FOR AREA DRAIN INSTALLATION.
- 5. EXTEND 12" PVC TO CB-5.
- 6. CONNECT THE THREE MAINLINE VALVES TO TWO 18" ANODE BAGS PER C104.
- 7. CLEAN AND REPAINT FIRE HYDRANT AND INSTALL STORZ COUPLING.
- 8. REPLACE ALL WATER MAIN AND SERVICE VALVE BOXES WITHIN THE PROJECT LIMITS.
- 9. EXISTING TRANSFORMER TO BE RELOCATED BY AEL&P FROM STA 14+40.24 RT TO 14+40.58 RT.
- 10. REPLACE ALL STORM AND SEWER SERVICE CLEANOUT FRAMES AND COVERS WITHIN THE PROJECT LIMITS.



CB-6 TYPE III W/ AREA DRAIN*	
STA "S" 14+37.4, 29.6 RT	
FG	EL=28.24
INV 12" PVC	EL=24.86**
*INSTALL IN ACCORDANCE WITH STD 309, EXCEPT THAT OVERALL DIMENSIONS SHALL BE APPROXIMATELY 4'-0"X4'-0"	
**ADJUST INVERT AS REQUIRED TO ACHIEVE 0.025 SLOPE.	

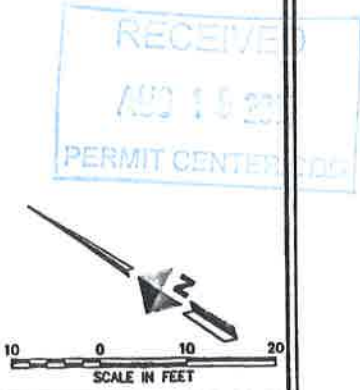
CB-6 TYPE III*	
STA "S" 14+59.3, 13.0 RT	
FG	EL=27.77
EXISTING FG	EL=28.85
INV EXISTING 6" PVC (IN)	EL=24.81
INV EXISTING 15" PVC (IN)	EL=23.91
INV EXISTING 12" PVC (IN)	EL=23.74
INV EXISTING 15" PVC (OUT)	EL=23.50
*TO REMAIN. INSTALL SOLID FRAME AND COVER PER STD. 306.	

CB-7 TYPE III*	
STA "S" 14+74.3 MATCH CURB	
FG	EL=27.47
INV EXISTING 15" PVC (IN)	EL=23.92
INV EXISTING 15" PVC (OUT)	EL=23.92
*CITE PIPES AS REQUIRED	

CB-3 TYPE III*	
STA "S" 13+79.0, MATCH CURB	
FG	EL=26.84
INV EXISTING 12" PVC (IN)	EL=23.13
INV EXISTING 15" PVC (IN)	EL=23.04
INV EXISTING 15" PVC (OUT)	EL=23.02
*REPLACE EXISTING CATCH BASIN AND CTE PIPES AS REQUIRED.	

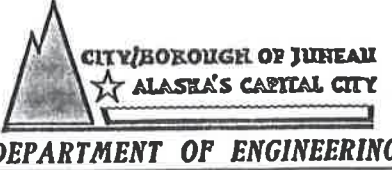
CB-4 EXISTING TYPE I*	
STA "S" 14+03.6, 12.8 RT	
FG	EL=27.50
EXISTING FG	EL=27.13
INV EXISTING 15" PVC (IN) SOUTH	EL=22.83
INV EXISTING 15" PVC (IN) NORTH	EL=22.98
INV EXISTING 18" CMP (OUT)	EL=22.99
*TO REMAIN. ROTATE ECCENTRIC CONE AS SHOWN TO KEEP COVER OUT OF GUTTER PAN. INSTALL SOLID FRAME AND COVER PER STD. 306.	

MH-2 EXISTING TYPE I*	
STA "S" 14+37.8, 8.6 RT	
FG	EL=27.79
EXIST COVER	EL=28.01
TOP OF 18" CONE	EL=28.68
INV 6" DI (IN)	EL=17.59
INV 12" DI SOUTH (IN)	EL=17.53
INV 12" DI NORTH (IN)	EL=16.82
INV 12" AC (OUT)	EL=16.58
*TO REMAIN. REPLACE FRAME AND COVER PER STD 206A	



5368 Commercial Blvd.
Juneau, Alaska 99801
(907) 780-3533 Office
(907) 780-3535 Fax

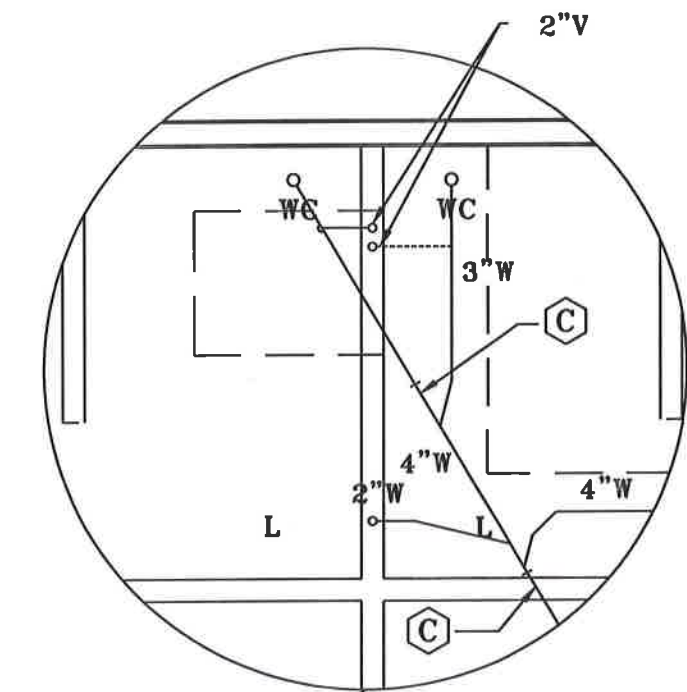
Consulting Engineers • Land Surveyors • Construction Administration
JOB No. J70878 DRAWN BY: STAFF DESIGNED BY: T. LOCKHART CHECKED BY: N. HOBBS DATE OCT. 2016



DOWNTOWN STREET
IMPROVEMENTS - PHASE I
CONTRACT NO. BE17-137

PLAN - S. FRANKLIN STREET
STA "S" 12+50 TO STA "S" 15+00

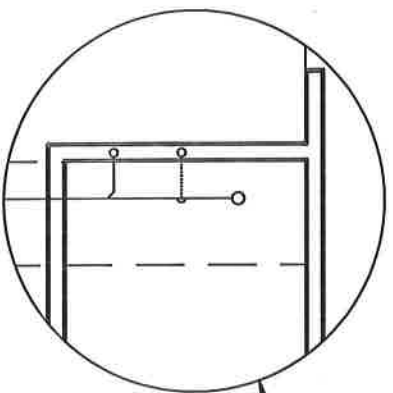
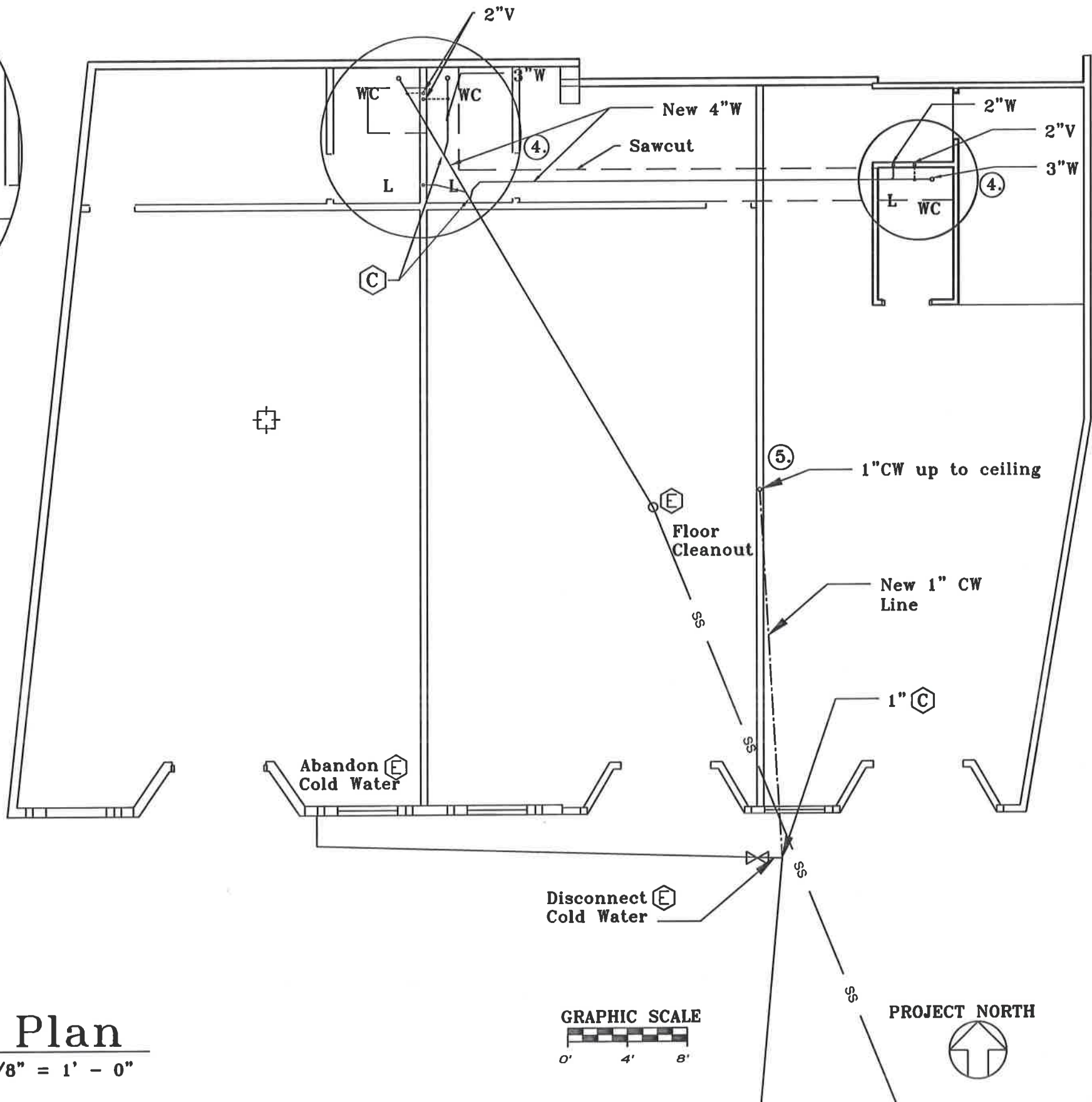
SHEET NO.
C.302
18
of
39



Detail View
1/4" = 1' - 0"

Sheet Notes

1. Existing rooftop air handlers removed. Demolish and remove existing ducts, grilles, and hangars in space
2. Install sheet metal cap over existing roof curb. Provide exterior cross support to bolt new outdoor heat pump on cover. New refrigeration piping to be installed through side wall of curb with goose neck / water proof penetration.
3. Use condensate pump and install condensate piping back to lavatory.
4. New 4" waste installed to both new bathrooms by saw cutting slab.
5. Bring new 1" CW line into building and separate to 3/4" to each of the 3 separate spaces.
6. 4" diameter duct serving toilet exhaust fan through roof.



Detail View
1/4" = 1' - 0"

Underground Plan

1/8" = 1' - 0"



**Modern Mechanical
Mechanical Engineers**
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**207 Franklin Street Remodel
Island Contractors
Juneau, Alaska**

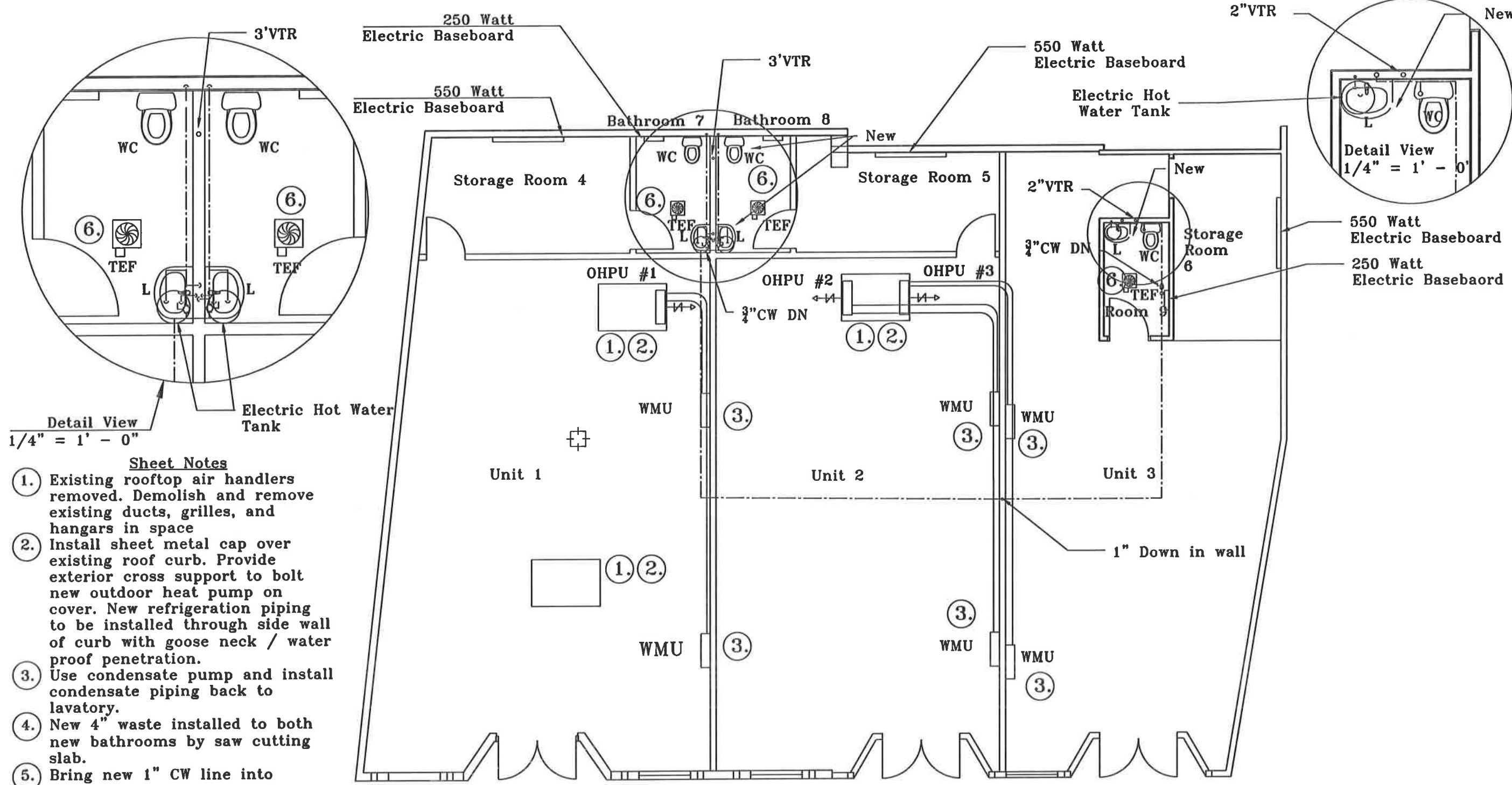
**Mechanical Plans:
Underground Plan**

REVISION	DESCRIPTION	DATE

SHEET NUMBER

M1

JOB NO. 1-672
DATE: June 2019

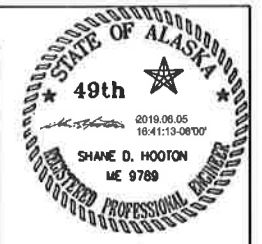
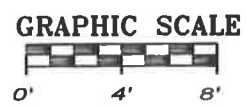


Detail View
1/4" = 1' - 0"

Detail View
1/4" = 1' - 0"

- Sheet Notes**
- ①. Existing rooftop air handlers removed. Demolish and remove existing ducts, grilles, and hangars in space
 - ②. Install sheet metal cap over existing roof curb. Provide exterior cross support to bolt new outdoor heat pump on cover. New refrigeration piping to be installed through side wall of curb with goose neck / water proof penetration.
 - ③. Use condensate pump and install condensate piping back to lavatory.
 - ④. New 4" waste installed to both new bathrooms by saw cutting slab.
 - ⑤. Bring new 1" CW line into building and separate to 3/4" to each of the 3 separate spaces.
 - ⑥. 4" diameter duct serving toilet exhaust fan through roof.

Floor Plan
1/8" = 1' - 0"



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Mechanical Plans:
Floor Plan

REVISION	DESCRIPTION	DATE

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M2
JOB NO. 1-672
DATE: June 2018

SPECIFICATIONS

Section 15010 – General Mechanical

A. Work Included: The scope of work includes the installation of new mechanical equipment, piping, ductwork and appurtenances described briefly below. New equipment will be installed as shown on the plans and equipment schedule. Any substitutions require design engineer approval before ordering. Submittals provided for review by mechanical engineer. Removal of the 3 existing rooftop units will be done with all associated duct and fittings. All removed equipment and appurtenances to become property of contractor. New roof curb covers will be manufactured to cap the existing roof curbs and allow mounting of the new heat pumps. 3 new outdoor heat pumps will be installed with refrigerant piping to 6 new wall mounted indoor units. New cold water main will be installed with new 4" waste to serve the 2 new bathrooms. New toilet exhaust fans with exhaust through the roof are to be installed in the bathrooms. New electric hot water tanks will be installed high above the lavatories to serve each sink. Mechanical Contractor to coordinate with Owner on any questions regarding placement and installation on any equipment. The Mechanical Contractor is to coordinate the controls with the electrical contractor. Any discrepancies found is to be brought to the attention of the Owner and engineer, coordination will be provided promptly and a logical solution recommended by either party. Coordination is essential between all disciplines. Contractor shall utilize these specifications and drawings for furnishing labor, equipment, and materials with any incidental items not shown or specified to provide a complete operational mechanical system. All work will be provided with a warranty of 1 year.

B. Codes and Regulations: All work here under shall be strictly in conformance with 2015 International Mechanical and Uniform Plumbing Code, NFPA, Title 19 and applicable codes. All electrical equipment shall bear the U.L. label.

C. Approvals: Trade names and catalog numbers of manufactured products included herein are given in an equipment schedule. The equipment to be as specified with no substitute unless approval is given by the mechanical engineer.

D. As-Built Drawings: All changes shall be noted on a set of red line prints as data for later preparation of as-built drawings. This set shall show all changes in location, dimensioned accurately from established building lines. The as-built prints shall show locations of all underground piping whether changed or not, dimensioned from building lines. The prints marked for as-built conditions shall be delivered to the mechanical engineer by the contractor.

E. Testing & Adjusting Systems: At the completion of the work, the toilet exhaust fans shall be checked for proper operation and flow, performed by the contractor, the adjustment will be done by a qualified firm with minimum 3 years experience in balancing mechanical systems. Logs will be recorded of all data and provided to the owner before final inspection.

Any problems to be coordinated with the mechanical contractor.

F. Field Measurements: All measurements shall be verified at the site. The existing conditions shall be fully observed before beginning the work here under, and the work here under executed in full coordination with the existing conditions observed. Variations apparently necessary due to existing conditions shall be made only on approval in writing by the Contracting Officer.

G. Electrical Work: Includes control wiring for electrical equipment specified herein. Wiring from equipment power inlet, or from outlets provided in the ELECTRICAL division. Such wiring provided as required whether shown on the drawings or not. Work in accordance with the ELECTRICAL specification and applicable codes and the National Electrical Code and NFPA 70. Wiring to be copper only, Low voltage control wiring in accessible areas in conduit or otherwise protected. All conduit and wiring in finished spaces shall be concealed unless approved otherwise by the Contracting Officer. Low voltage wiring to be 18 AWG minimum.

SECTION 15050 – BASIC MECHANICAL

- A. Refrigeration Tubing: Hard copper type ACR B (nitrogenized) or annealed copper ASTM 280 ACR copper tubing. Silver brazed and nitrogen purged.
- B. Domestic Water Piping: Hard-drawn copper pipe Type L, with solder or ProPress fittings. Contractor the option of installing AquaPEX in concealed spaces with appropriate fittings.
- All exposed piping is to be copper.
- C. Waste and Vent Piping: All vertical & horizontal waste to be schedule 40 ABS.
- D. System Valves: Ball valves full port seat or threaded. Swing check valves bronze swing disc, sweat or threaded.

SECTION 15250 – PIPE & DUCT INSTALLATION

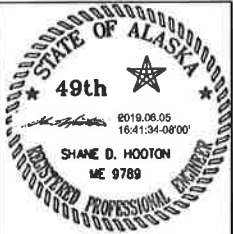
- A. Pipe/Tubing: Closed cell rubber minimum 1/2 thick with self sticking edges All exterior piping covered with aluminum jacket or plastic wrap over rubber insulation to prevent damage from birds. Sealed weather tight. Vapor seal outside of insulation on piping that may run cold. All domestic water piping insulated, all refrigerant tubing insulated.
- B. Duct: All exhaust air duct within 3 feet of the exterior wall or roof to be wrapped with fiberglass insulation with foil exterior. Seams taped in a secure manner.

SECTION 15800 – AIR DISTRIBUTION

- A. Sheet Metal: All sheet metal fabricated of minimum 24 gage galvanized steel. As per SMACNA standards.
- Construction and installation per latest edition of SMACNA. Change in direction and size: Elbows with throat radius 75 percent of the dimension of the adjacent duct width as measured in the same direction, except where otherwise detailed. Miter elbows with turn vanes. Leading edge of the turn vane parallel to the leaving duct. Transitions with lengths not shorter than shown. Joints: Airtight for the purpose intended. Sealed with 2-mil aluminum foil tape, self-adhesive, similar to Fascon or Polyken. Duct supports: Ducts secured against displacement and vibration. Anchored to structural parts of the building at intervals not greater than 10 feet. Ducts suspended with 1 inch wide 18-gage galvanized steel straps. manual dampers:
- B. Toilet Exhaust Fans: Exhaust fans as specified on the equipment schedule. Rated at a volume and static pressure as shown on schedule.

MECHANICAL EQUIPMENT SCHEDULE

EQUIPMENT	DESIGN MANUFACTURER	MODEL	FEATURES/CONTROLS/OPTIONS
Outdoor Heat Pump Unit (ODHPU #1, ODHPU #2, ODHPU #3)	Daikin	MODEL 3MXL240MVJU	Outdoor heating & cooling unit, 2-ton 208-230 volt, single phase, 19 amps, 20 amps MCA. low ambient operation to -13°F with wind baffle kit. Installed on Structural roof curb for bolting unit down. Install piping and conduit in sidewall penetration to the existing curb with gooseneck or other waterproof penetration.
Indoor Heat Pump Wall Mount (WMU)	Daikin	MODEL FTXS12LVJU	Indoor heating & cooling wall mounted units, 438-307 cfm, 208-230 volt, single phase, 0.6 running amps, install with provided thermostat, provide with condensate pump. Indirect drain to lavatory.
Toilet Exhaust Fans (TEF)	Panasonic	FV-05-11VK2	Panasonic whisper green select exhaust fan, built in speed selector, provide Motion Sensor FV-MSVK1 & Multi-speed with Time delay, 50 cfm on motion sensor, operate 30 cfm for an additional 20 minutes. Single-phase, 120 volt, 0.1 amps.
Electric Hot Water Tank	Rheem	6 Gallon XE06PD6PU20U0	6 gallon electric water heater, 120 volt, 16.7 amps, 2000 watt element. Provided with drain pan, p&I. Install on platform above sink. Drain pan and relief to sump. Connect 3/4" cold to existing 3/4" branch and hot water to both sinks.



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Mechanical Plans:
Specifications & Schedule

REVISION DESCRIPTION	DATE

SHEET NUMBER

M3

JOB NO. 1-672
DATE June 2019



GENERAL NOTES

ABBREVIATIONS

CRITERIA

CODE: 2012 EDITION OF INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE STATE OF ALASKA AND CITY AND BOROUGH OF JUNEAU

STRUCTURAL RISK CATEGORY: II

LOADS:

SNOW
GROUND SNOW LOAD: 70 PSF
THERMAL COEFFICIENT C_t = 1.0, (NON VENTED ROOF)
EXPOSURE COEFFICIENT, C_e = 0.9 (TERRAIN CATEGORY D, PARTIALLY EXPOSED)
IMPORTANCE, I_s = 1.0 (OCCUPANCY CATEGORY II)
FLAT ROOF SNOW AT OFFICE: 50 PSF
UN BALANCED AND DRIFT SNOW PER ASCE 7-2010

WIND LOADS:

ULTIMATE WIND SPEED: 133 MPH
EXPOSURE: D; K_z = 1.03 K_{zt} = 1.0; K_d = 0.85
ULTIMATE STATIC PRESSURE, q_u = 39.6

SEISMIC LOADS

SITE CLASS: D
S_{ds} = 0.53 g; S_{d1} = 0.36 g
DESIGN CATEGORY D; IMPORTANCE = 1.0
R = 6.5 (LIGHT FRAMED WOOD WITH PLYWOOD PANELS)
C_s = 0.075 g

FOUNDATION:

FOUNDATION HAS BEEN DESIGNED WITH AN ALLOWABLE BEARING PRESSURE OF 2,000 PSF BASED UPON THE ANTICIPATION OF ENCOUNTERING TYPE 4 SOILS (SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL OR CLAYEY GRAVEL) AS DEFINED IN TABLE 11806.2 OF THE INTERNATIONAL BUILDING CODE. CONTRACTOR SHALL VERIFY CONDITIONS AT THE LIMIT OF EXCAVATION AND REPORT TO THE ENGINEER.

STRUCTURAL MATERIALS AND CONSTRUCTION

BASE COURSE

BASE COURSE SHALL CONFORM TO GRADATION C1 OR D1 OF SECTION 703-2.03 OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, 2015 EDITION. PLACE BASE COURSE IN ONE LIFT AND COMPACT WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSESS WITH A VIBRATORY DOUBLE DRUM ROLLER OR PLATE COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.

CONCRETE

MIXING, PLACING, AND CURING OF CONCRETE AND SELECTION OF MATERIALS SHALL BE IN ACCORDANCE WITH THE IBC. PROPORTIONS OF AGGREGATE, CEMENT AND WATER SHALL BE SUCH TO RESULT IN A DENSE WORKABLE MIX WHICH CAN BE PLACED WITHOUT EXCESS SURFACE WATER. A MIX DESIGN, WITH RECORDED CYLINDER TEST RESULTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING CONCRETE EQUIPMENT TO THE SITE. MAXIMUM SLUMP SHALL BE 4 INCHES PRIOR TO ADDING PLASTICISERS OR WATER REDUCERS ON SITE. 28-DAY COMPRESSIVE STRENGTH (f_c') SHALL BE 3,000 PSI. CONCRETE SHALL BE ENTRAINED WITH AIR SO THAT AIR CONTENT WILL BE BETWEEN 5 AND 8 PERCENT.

CONCRETE REINFORCING SHALL COMPLY WITH ASTM A615 GRADE 60. LAP REINFORCING STEEL 50 BAR DIAMETERS UNLESS OTHERWISE NOTED. AT CORNERS ADD CORNER BARS AT EACH HORIZONTAL BAR WITH LEG LENGTH AT LEAST 50 DIAMETER LAP LENGTH OR EXTEND THE HORIZONTAL BARS WITH A 90 DEGREE HOOK WITH A 50 DIAMETER LAP LENGTH.

REINFORCING SHALL BE SUPPORTED AND SECURED IN PLACE PRIOR TO CONCRETE PLACEMENT USING WELL-CURED CONCRETE BLOCKS OR APPROVED STEEL CHAIRS. WELDING OF REINFORCING IS PROHIBITED UNLESS SPECIFICALLY NOTED.

PROVIDE MINIMUM COVER AT REINFORCING BARS AS FOLLOWS: CAST AGAINST EARTH 3 INCHES, EXPOSED TO EARTH OR WEATHER 2 INCHES AND SLABS ON GRADE 1.5 INCHES.

SHEATHING

SHEATHING SHALL BE PLYWOOD AND SHALL CONFORM WITH APA PS 1, EXPOSURE 1 SHEATHING GRADE CD OR OF A BETTER GRADE.

TIMBER FRAMING

SPECIES AND GRADES: UNLESS NOTED OTHERWISE, ALL TIMBER 2 TO 4 INCHES THICK SHALL BE HEM FIR NO 2 GRADE, TIMBER 5 INCHES AND GREATER IN THICKNESS SHALL BE HEM FIR NO 1 GRADE OR OF A BETTER SPECIES AND GRADE, VISUALLY GRADED IN ACCORDANCE WITH THE WESTERN WOODS PRODUCTS ASSOCIATION, LATEST GRADING RULES. ALL SAWN FRAMING SHALL BE STAMPED WITH LUMBER SPECIES AND GRADE.

TIMBER SHALL BE FABRICATED AND JOINED TO CREATE SNUG TIGHT CONNECTIONS UNLESS NOTED OTHERWISE. BOLTS SHALL CONFORM TO ASTM A307 AND BE GALVANIZED. HOLES FOR BOLTS SHALL BE NO GREATER THAN THE BOLT DIAMETER PLUS 1/8 INCH. ALL BOLTS WITH HEAD OR NUT IN CONTACT WITH TIMBER SHALL BE INSTALLED WITH GALVANIZED WASHERS UNDER THE HEAD AND NUTS. ALL NAILED CONNECTIONS SHALL BE CONNECTED USING GALVANIZED BOX NAILS.

PRE-FABRICATED HANGERS AND CONNECTORS NOTED IN THE PLANS ARE THE PRODUCT OF THE SIMPSON STRONG-TIE COMPANY. HANGERS AND CONNECTORS MADE BY OTHER MANUFACTURER'S MAY BE CONSIDERED FOR SUBSTITUTION IF THE HANGER OR CONNECTOR HAS EQUAL OR GREATER LOAD CAPACITY, EQUAL OR GREATER CORROSION RESISTANCE AND BE OF AN APPROPRIATE EQUAL CONFIGURATION. SUBMIT ICBO ER FOR REVIEW AND APPROVAL WITH ANY REQUEST FOR SUBSTITUTION.

TIMBER AND LUMBER NOTED AS TREATED SHALL BE PRESSURE PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA UC3B FOR IN GROUND CONTACT USING A PRESERVATIVE APPROVED BY THE ENGINEER. FIELD TREAT ALL DAMAGE TO PRESSURE TREATED ENDS AND SURFACES IN ACCORDANCE WITH AWPA M-4 USING 2 COATS OF COPPER NAPHTHANATE SOLUTION AT DAMAGE, CUTS, HOLES, CHAMFERS, DAPS, COUNTERSINKS, ETC.

I JOISTS

I JOISTS SHALL CONSIST OF SOLID TIMBER OR LAMINATED VENEER LUMBER FLANGES AND A PLYWOOD WEB. I JOISTS SHALL BE AS MANUFACTURED BY THE RED BUILT COMPANY AND BE THE TYPE INDICATED ON THE PLANS OR OF APPROVED EQUAL. IF ALTERNATE I JOIST IS PROPOSED THE SUBSTITUTION SHALL HAVE THE SAME CHARACTERISTICS, STIFFNESS AND LOAD CAPACITY OF THE MAKE AND MODEL INDICATED. ANY REQUEST FOR SUBSTITUTION SHALL INCLUDE AN ICBO EVALUATION REPORT. HANDLE AND STORE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.

GLUED LAMINATED TIMBER BEAMS SHALL BE MADE OF DOUGLAS FIR AND BE COMBINATION 24F-V4 FOR SIMPLE SPAN BEAMS AND 24F-V8 FOR CONTINUOUS OR CANTILEVERED SPANS.

LAMINATED VENEER LUMBER

LAMINATED VENEER LUMBER SHALL BE REDBUILT COMPANY RED LAM LVL OR APPROVED EQUAL. CHARACTERISTICS AND ALLOWABLE STRESSES INCLUDE THE FOLLOWING:

MODULUS OF ELASTICITY:	E = 2.0 X 10 ⁶ PSI
ALLOWABLE FIBER BENDING,	F _b = 2,900 PSI
ALLOWABLE SHEAR	F _v = 285 PSI
ALLOWABLE COMPRESSION PERPENDICULAR TO THE GRAIN	F _{cperp} = 725 PSI
ALLOWABLE COMPRESSION PARALLEL TO GRAIN	F _c = 2750 PSI

HANDLE AND STORE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

ACI	AMERICAN CONCRETE INSTITUTE
AITC	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
APA	AMERICAN PLYWOOD ASSOCIATION
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWPA	AMERICAN WOOD PRESERVERS ASSOCIATION
IBC	INTERNATIONAL BUILDING CODE
ICBO	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
MAX	MAXIMUM
MIN	MINIMUM
NO	NUMBER
OC	ON CENTER
PS	PRODUCT STANDARD
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
STD	STANDARD
TYP	TYPICAL



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Fax: 907-586-2099
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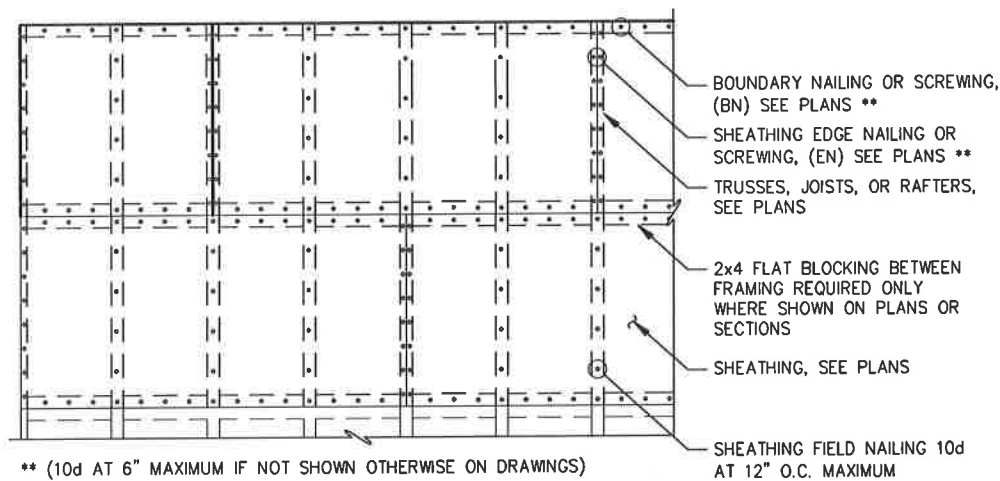
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STRUCTURAL GENERAL NOTES

S001

PND PROJECT NO.: 192026

C.A.N. NO.: AECC250

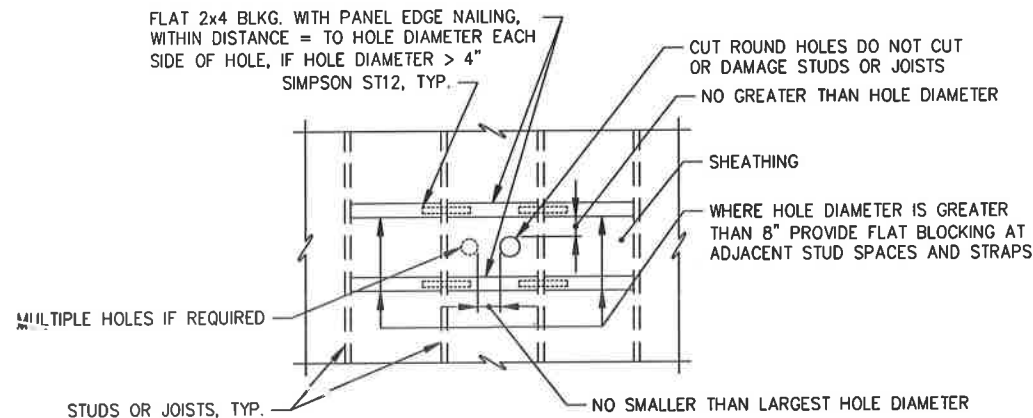


PLAN

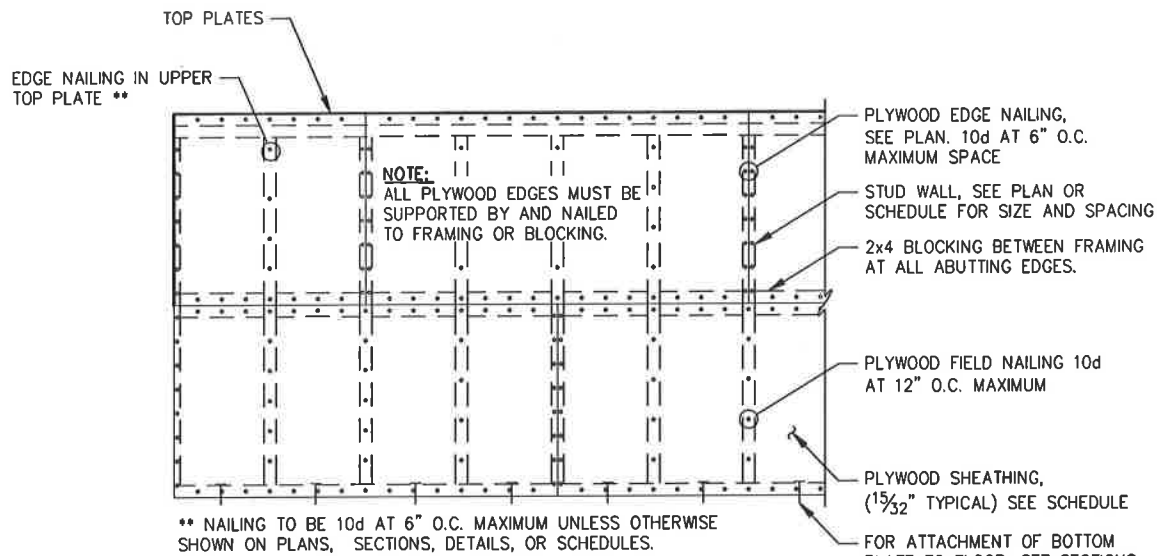
NOTES:

1. STAGGER SHEATHING JOINTS A MINIMUM OF TWO JOIST SPACES
2. NAILS AT ABUTTING SHEATHING EDGES MUST PENETRATE THE SAME PIECE OF FRAMING OR BLOCKING.

A TYPICAL PLYWOOD DIAPHRAGM FOR ROOF DETAIL



C TYPICAL SHEAR WALL AND DIAPHRAGM PENETRATION DETAIL



ELEVATION

NOTES:

1. PLYWOOD IS SHOWN HORIZONTAL, IT MAY ALSO BE POSITIONED VERTICAL.
2. STAGGER PLYWOOD JOINTS A MINIMUM OF TWO STUD SPACES.
3. NAILS AT ABUTTING PLYWOOD EDGES MUST PENETRATE THE SAME PIECE OF FRAMING OR BLOCKING.
4. SEE TYPICAL WALL ELEVATIONS AND PLANS FOR HOLD DOWNS, STRAPS AND ADDITIONAL BLOCKING.

B TYPICAL SHEAR WALL DETAIL



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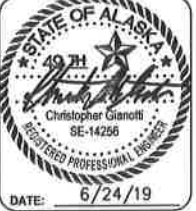
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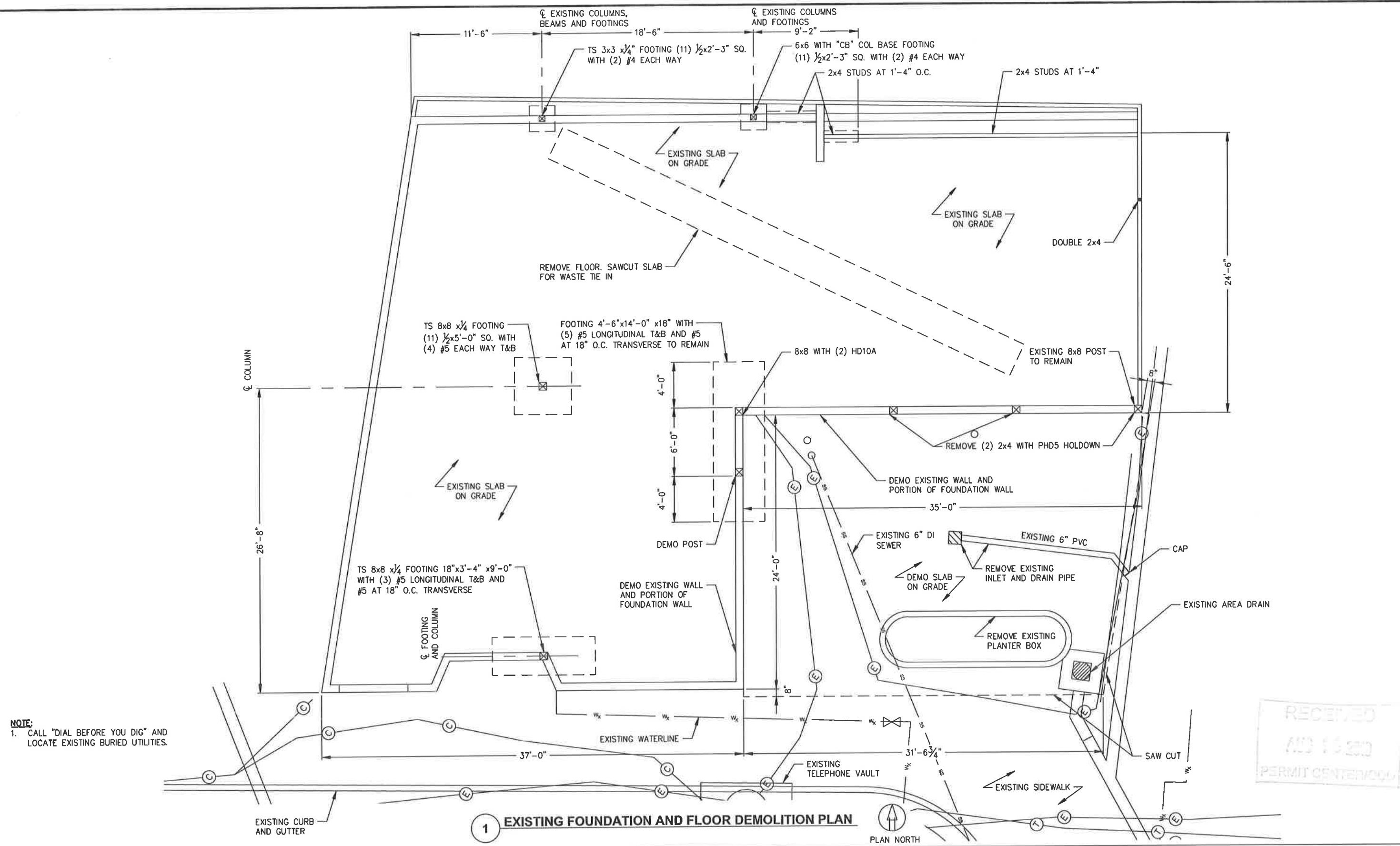
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TYPICAL DETAILS

S002

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Attachment A - Application



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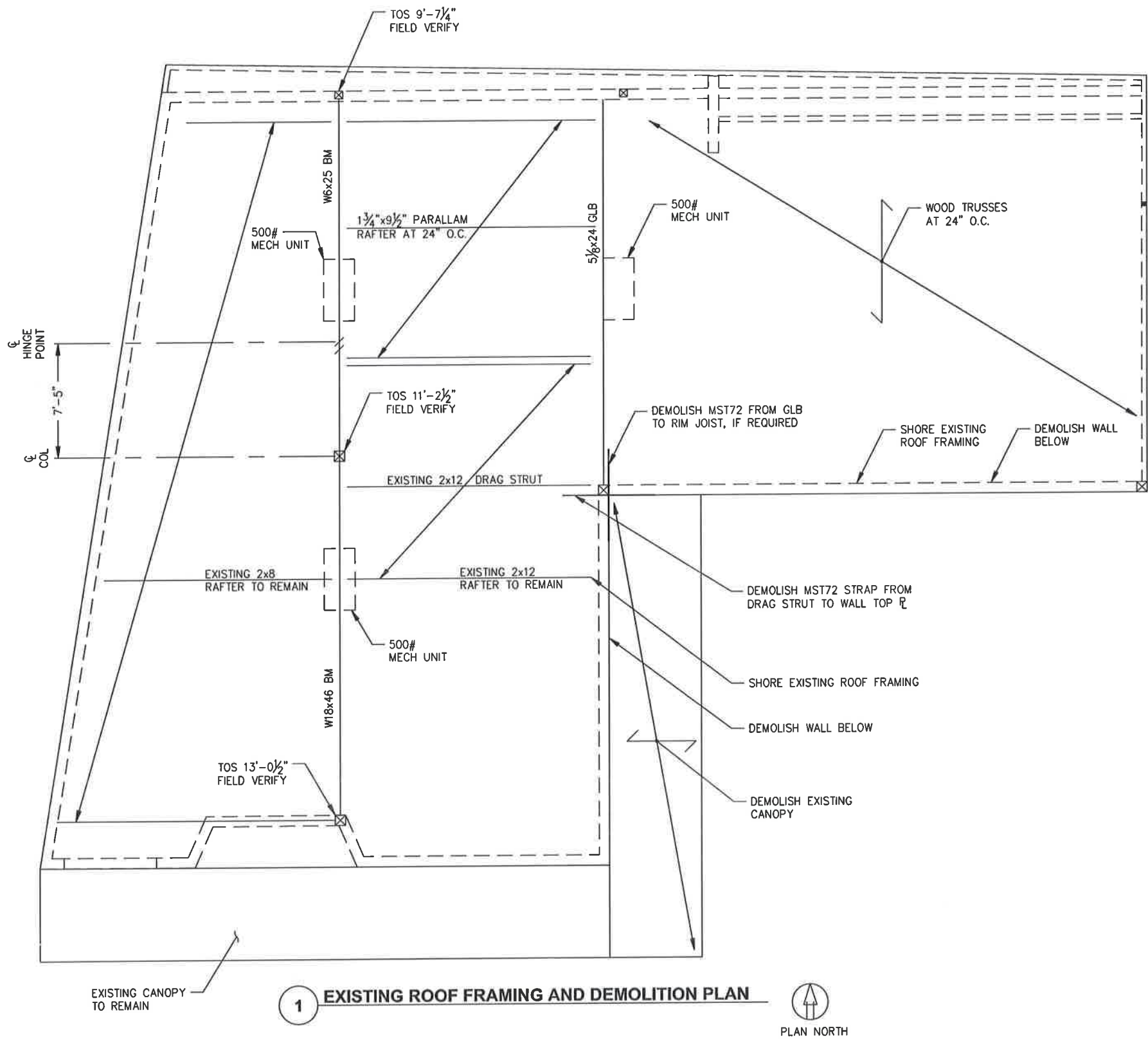


**207 FRANKLIN ST REMODEL
ISLAND CONTRACTORS**

SHEET TITLE:
**EXISTING FOUNDATION AND
FLOOR DEMOLITION PLAN**

PND PROJECT NO.: 192026 C.A.N. NO.: AECC250

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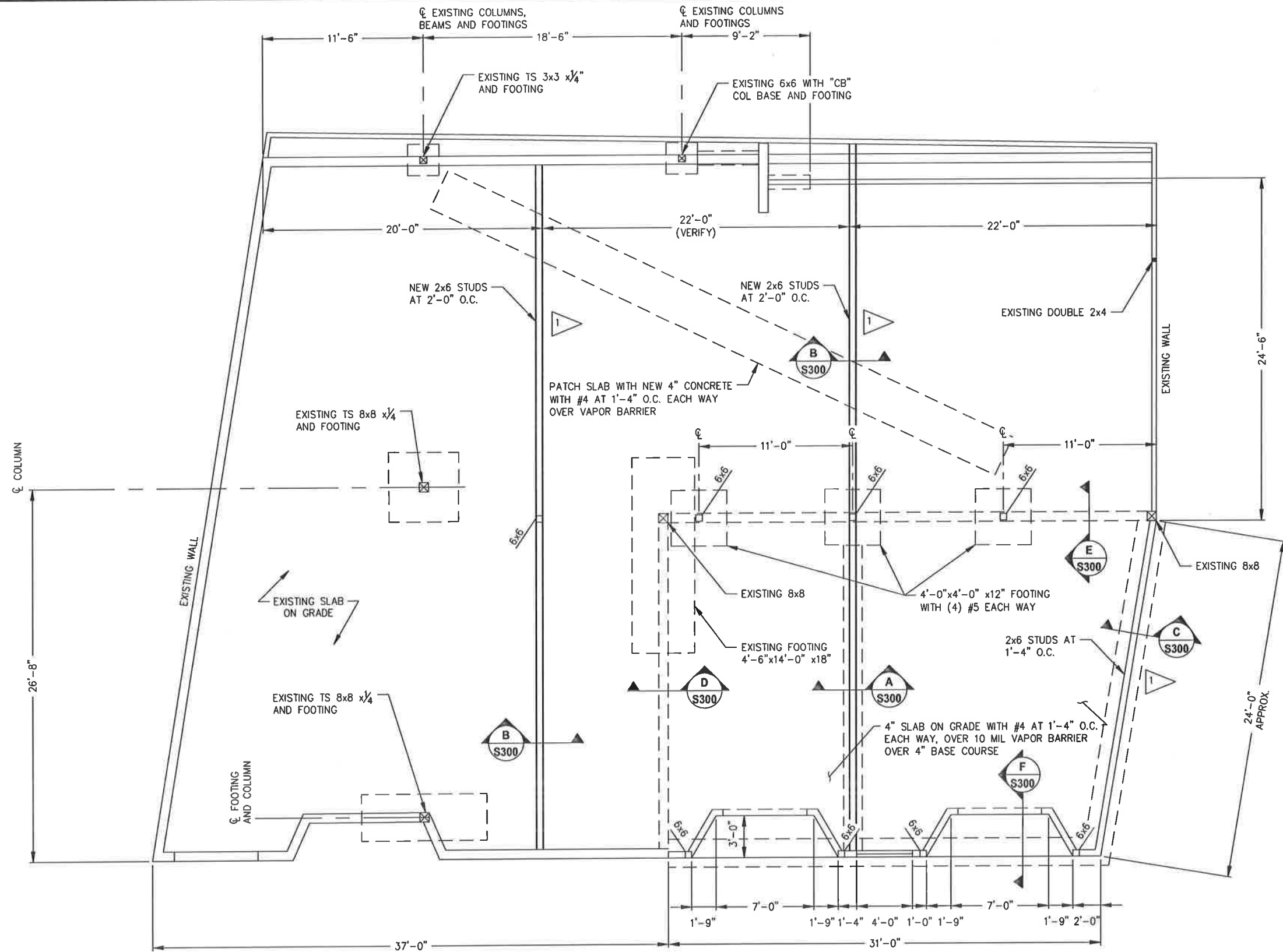
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ISLAND CONTRACTORS

SHEET TITLE:
**EXISTING ROOF FRAMING
AND DEMOLITION PLAN**

PND PROJECT NO.: 192026 C.A.N. NO.: AECC250

S101

Attachment A - Application



1 FOUNDATION AND FLOOR FRAMING PLAN



NOTES:

1. # INDICATES SHEAR WALL TYPE. SEE SCHEDULE AND TYPICAL DETAIL.



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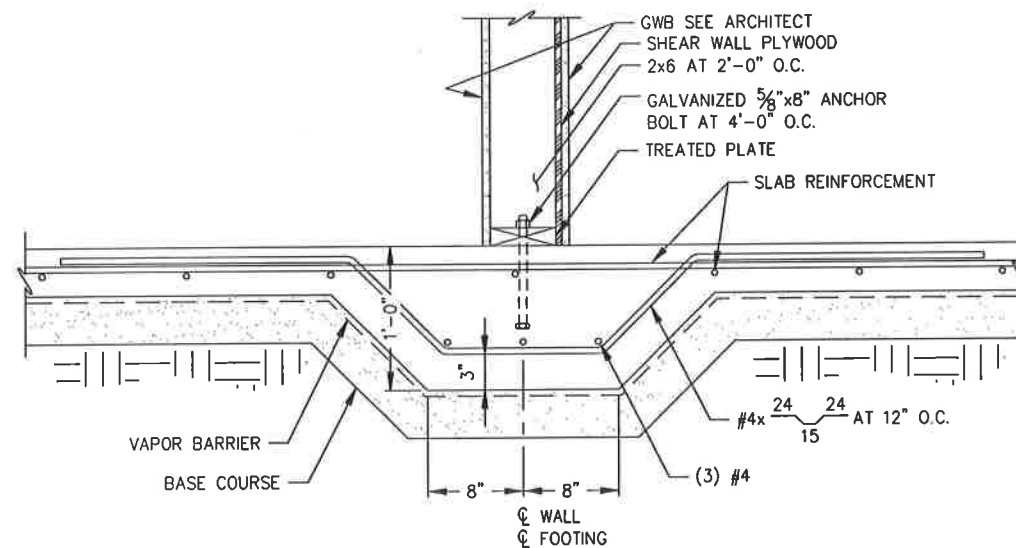


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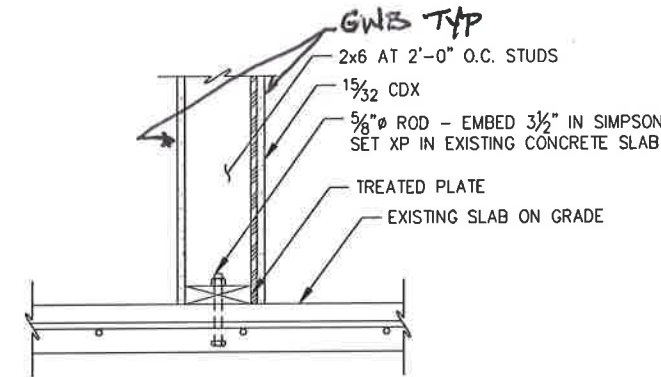
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FOUNDATION AND FLOOR FRAMING PLAN

PND PROJECT NO.: 192026
C.A.N. NO.: AECC250

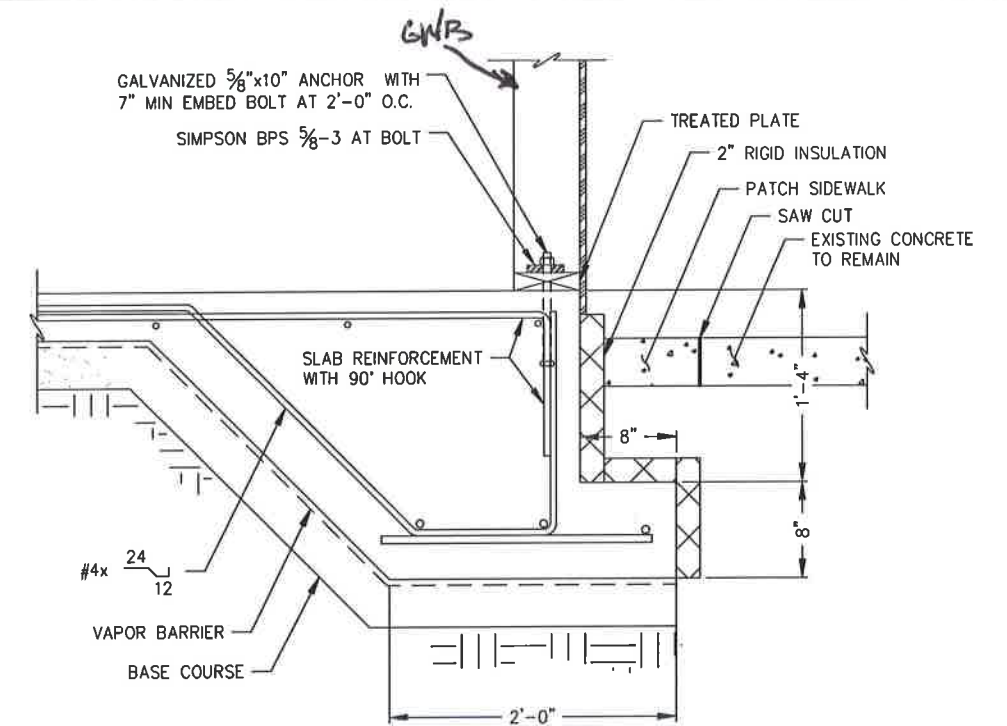
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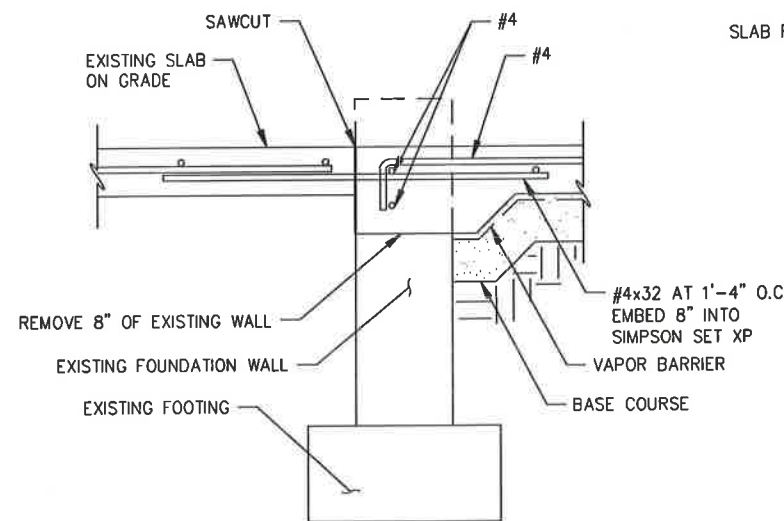
A SHEAR WALL BASE



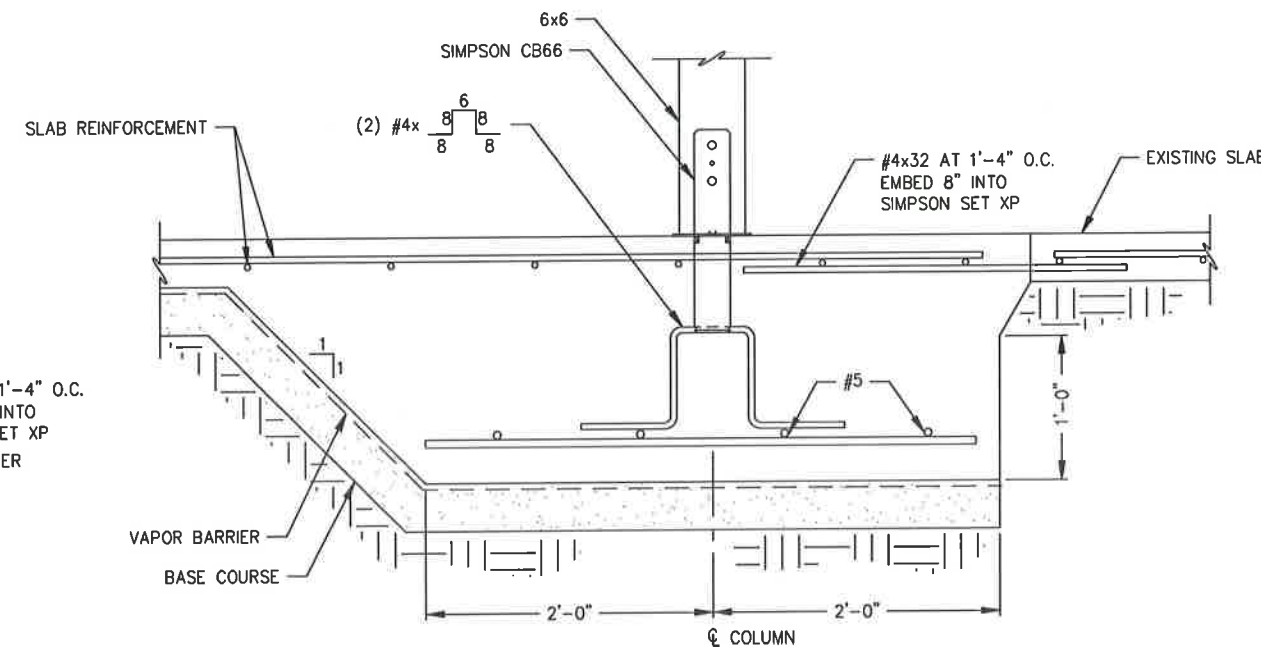
B SHEAR WALL BASE



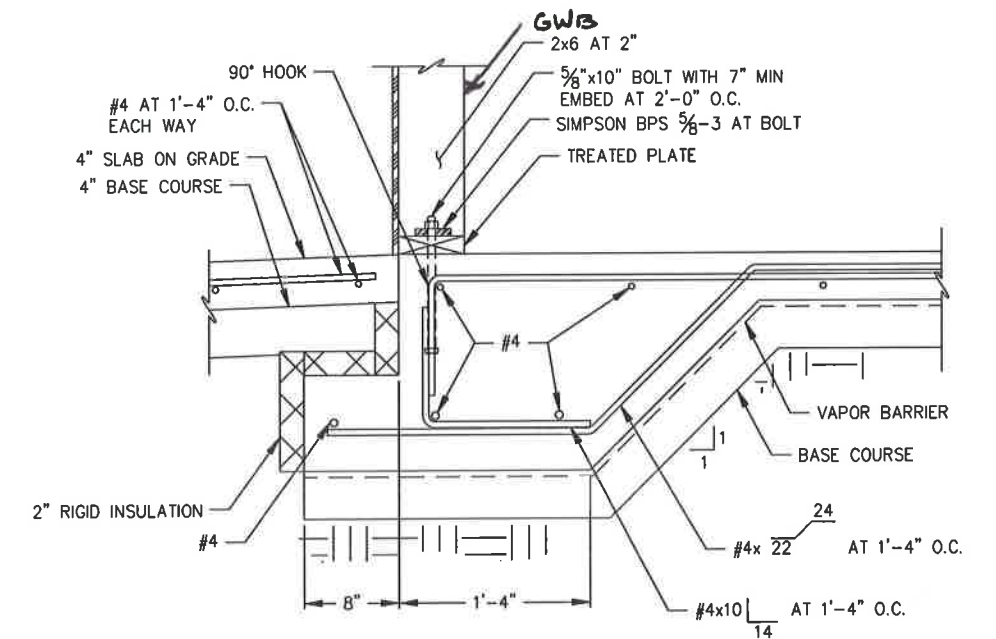
C FOUNDATION DETAIL



D SECTION AT EDGE OF NEW SLAB



E POST FOOTING DETAIL



F FRONT WALL FOUNDATION



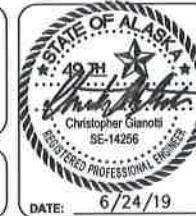
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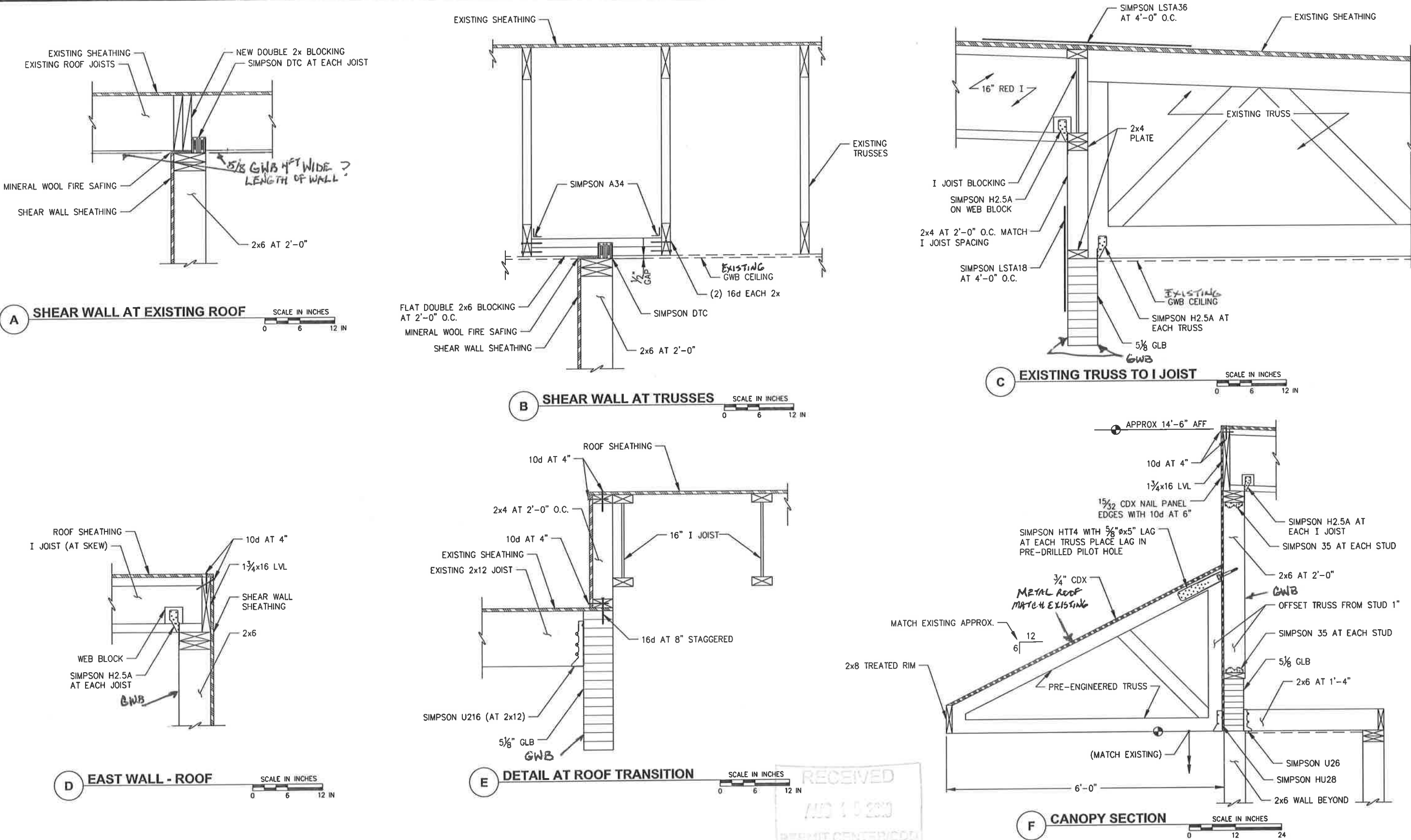
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SHEET TITLE: **DETAILS**
PND PROJECT NO.: 192026 C.A.N. NO.: AECC250

S300



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SCALE: AS SHOWN



207 FRANKLIN ST REMODEL
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SHEET TITLE:

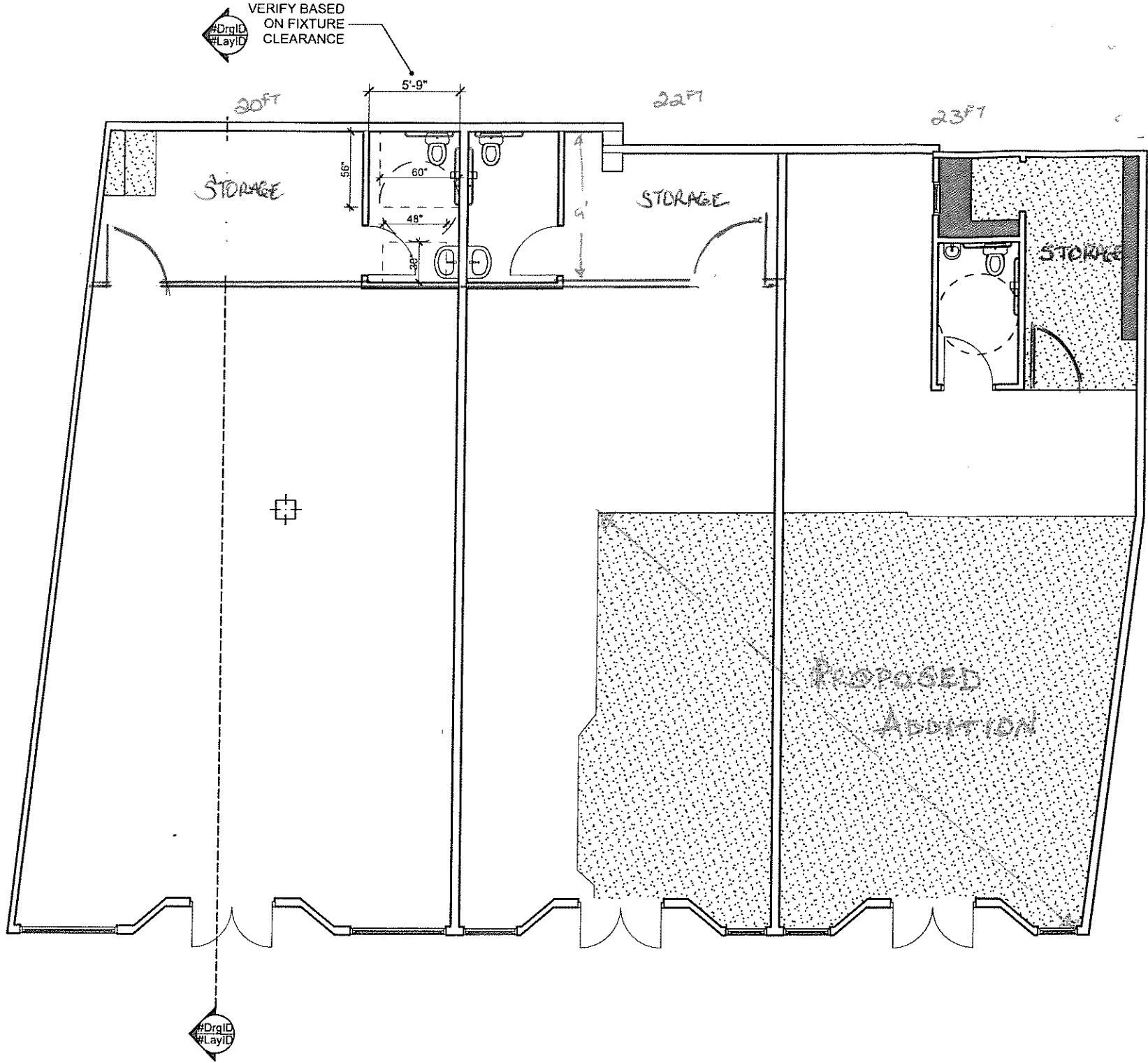
DETAILS

S301

PND PROJECT NO.: 192026

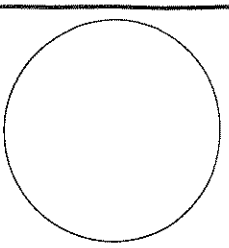
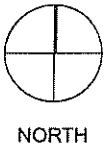
C.A.N. NO.: AECC250

DATE: 6/24/19



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



W
N
NorthWind
Architects LLC
126 Seward St
Juneau, AK 99801
Ph #907.586.6150
www.northwindarch.com

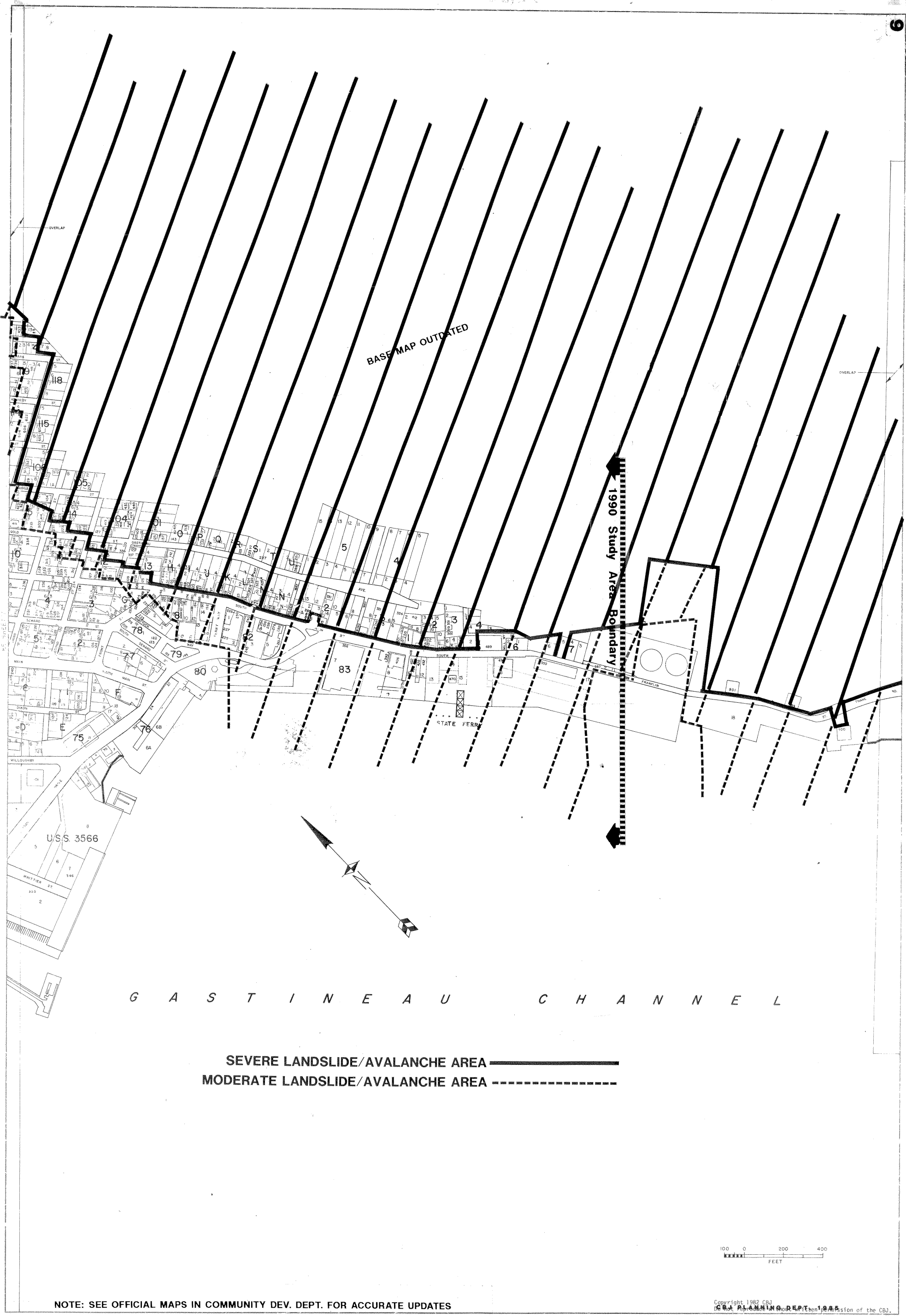
1" ACTUAL
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

** PROJECT NAME **
*** PROJECT NUMBER ***
#Site City, #Site State

SHEET TITLE:
FLOOR PLANS

CHECKED XX
DRAWN XX

SHEET #
A1
PLOT DATE 7/13/18
ISSUE DATE **



LANDSLIDE AND AVALANCHE AREA

Dated: September 9, 1987
Adopted by Ordinance Serial No. 87-49
SHEET 1 OF 7

Attachment B - Landslide and Avalanche Area Map, Adopted 1987