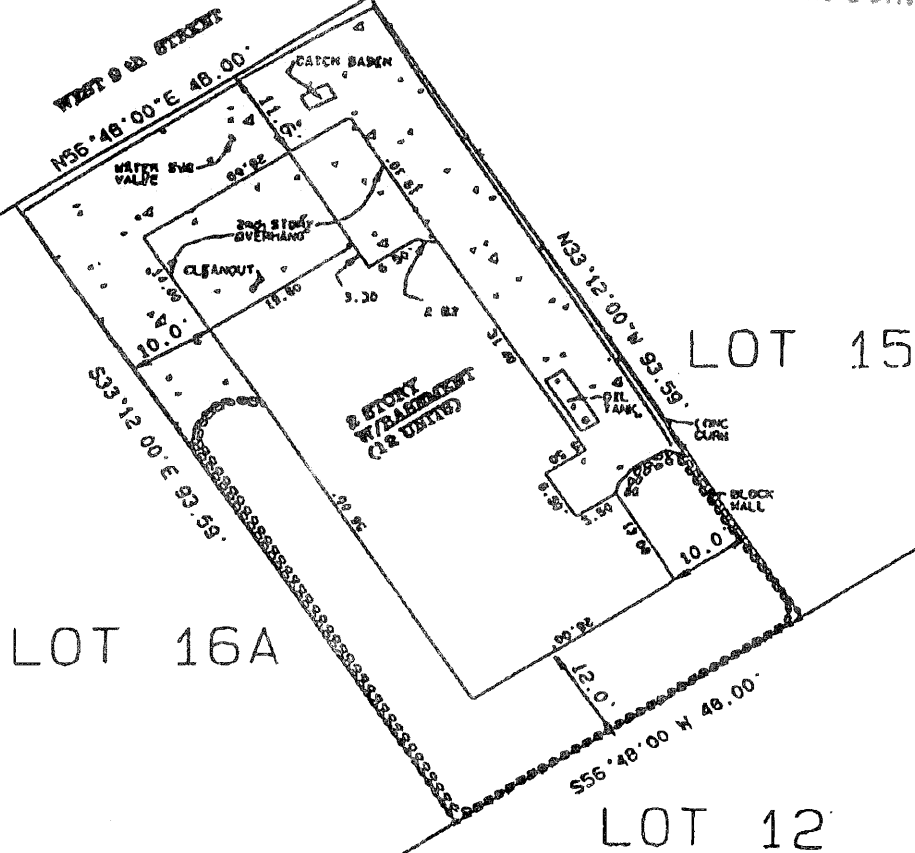


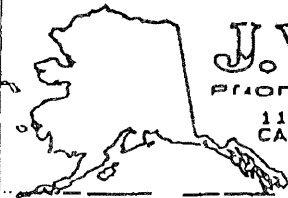
Received

NOV 27 2000

OBJ
Permit Center



I HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT PLAT; THAT ALL WALKS, ROADS, EASEMENTS AND IMPROVEMENTS THEREON ARE AS SHOWN AND THAT ALL OVERLAPS AND ENCHOACHMENTS ARE AS SHOWN TO THE BEST OF MY KNOWLEDGE.



J.W. BEAN
PROFESSIONAL SURVEYOR

11643 TDS
CASEY SHATTJOB No. 11342

SCALE 1"=20'

DATE 11-17-2000

AS-BUILT SURVEY OF

LOT 16R BLOCK 60
TIDELANDS ADDITION ATS 3
TO JUNEAU TOWNSITE

Attachment B - Site Plan and Parking Plan



Mailing Address:
P.O. Box 32399
Juneau, AK 99801-2399

Phone: (907) 789-7206
Fax: (907) 789-2171



Physical Address:
9340 Glacier Hwy.
Suite 42
Juneau, AK 99801

Received
on

NOV 27 2000

CBJ
Permit Center

Fax

To:

Debbie
~~SARA~~

From:

Brian W

Fax:

Date:

11/24/00

Phone:

Pages:

2

Re:

CC:

☐ Urgent

☐ For Review

☐ Please Comment

☐ Please Reply

☐ Please Recycle

•Comments:

*SARA here is Greatland
Hotel ASBUILT for our Final
CQ BLD 1999-00708*

*OK 10% Veg cover? 450 S.E. or Bld 2
OK Verify if external signs - no sign
permit has been submitted*

*Thanks
Brian*

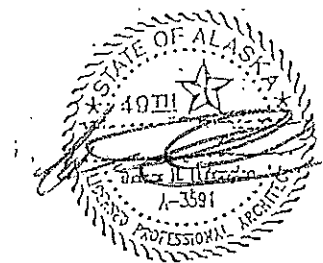
Verify trash area is enclosed by site obscuring fence

NOV-24-00 FRI 8:43 AM

907 789 2171

P. 1

*is there a 2nd level porch? - NO per
SOS*



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on
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DOOR THERSHOLD 1/4"
SET IN BEAD OF CAULK

MINERAL CAP SHEET
WITH P.T. DECK BOARDS
@ 16" OC, WITH P.T.
DECK WITH 1/4" MAX. GAP
NOTE ROOF DECK SLOPE
TO STAIR EDGE FOR
DRAINAGE- STAIR& DOOR
LANDING ARE FLAT.

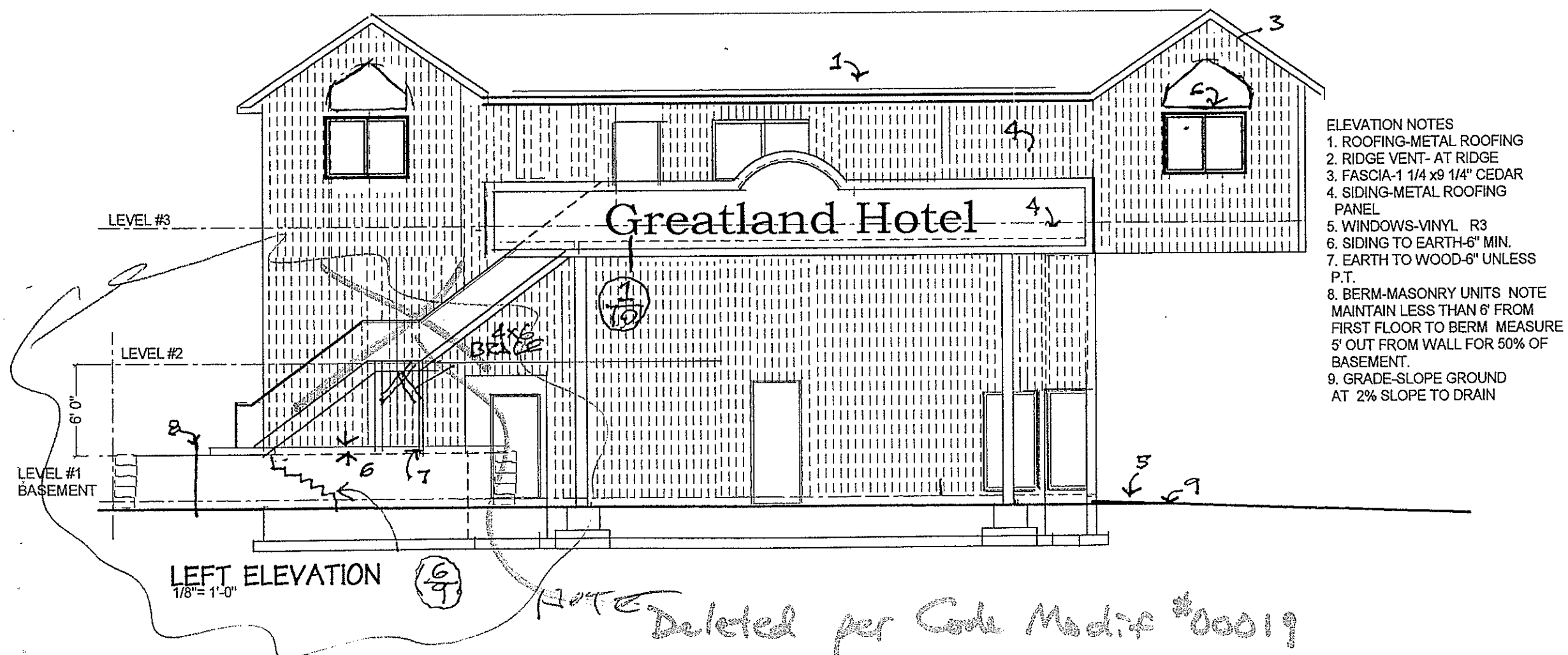
5/8" SOFFIT PLYWOOD



DOOR @ PORCH ROOF

3/8"=1'-0"

? This doesn't scale correctly --
need min 36" exit path.



- ELEVATION NOTES
1. ROOFING-METAL ROOFING
 2. RIDGE VENT- AT RIDGE
 3. FASCIA-1 1/4 x9 1/4" CEDAR
 4. SIDING-METAL ROOFING PANEL
 5. WINDOWS-VINYL R3
 6. SIDING TO EARTH-6" MIN.
 7. EARTH TO WOOD-6" UNLESS P.T.
 8. BERM-MASONRY UNITS NOTE MAINTAIN LESS THAN 6' FROM FIRST FLOOR TO BERM MEASURE 5' OUT FROM WALL FOR 50% OF BASEMENT.
 9. GRADE-SLOPE GROUND AT 2% SLOPE TO DRAIN

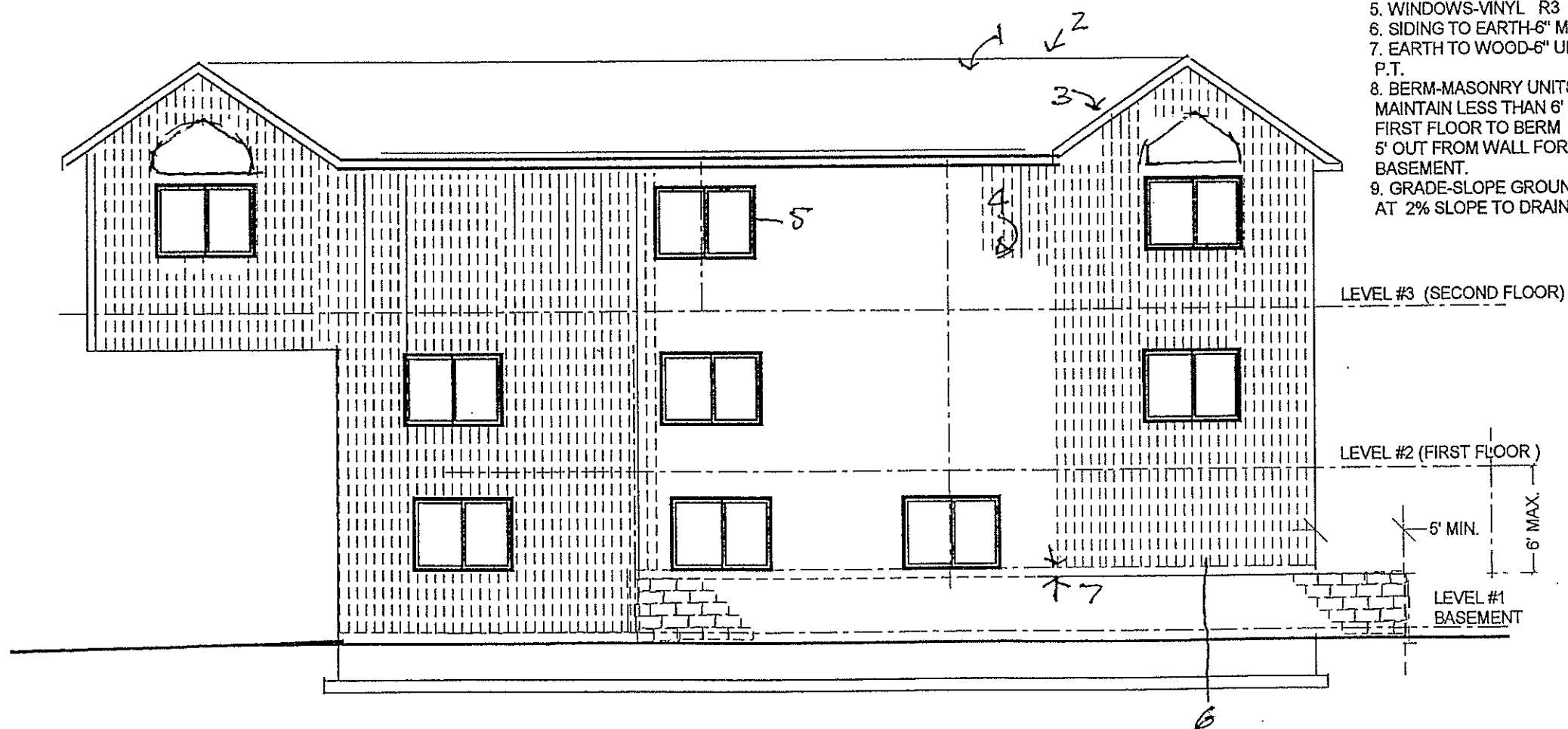
HOTEL
WEST NINTH
JUNEAU, AK

A10 ELEVATIONS



ELEVATION NOTES

1. ROOFING-METAL ROOFING
2. RIDGE VENT- AT RIDGE
3. FASCIA-1 1/4 x9 1/4" CEDAR
4. SIDING-METAL ROOFING PANEL
5. WINDOWS-VINYL R3
6. SIDING TO EARTH-6" MIN.
7. EARTH TO WOOD-6" UNLESS P.T.
8. BERM-MASONRY UNITS NOTE MAINTAIN LESS THAN 6' FROM FIRST FLOOR TO BERM MEASURE 5' OUT FROM WALL FOR 50% OF BASEMENT.
9. GRADE-SLOPE GROUND AT 2% SLOPE TO DRAIN



RIGHT ELEVATION
1/8"= 1'-0"

Attachment B - Site Plan and Parking Plan

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on
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CBJ
Permit Center

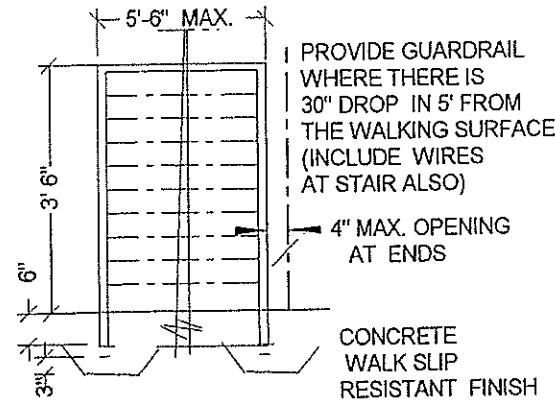
HOTEL
WEST NINTH
JUNEAU, AK

A11 ELEVATIONS



1 1/4" GALVANIZE PIPE RAILING
RUN 8" INTO SLAB EPOXY
OR APPROVED ANCHOR
1/4" STAINLESS STEEL WIRE
TAUGHT TO PREVENT @ 4"
SPHERE THRU THE GUARD
RAIL

HANDRAIL EACH SIDE OF STAIRS
3' MIN CLEAR BETWEEN RAILS

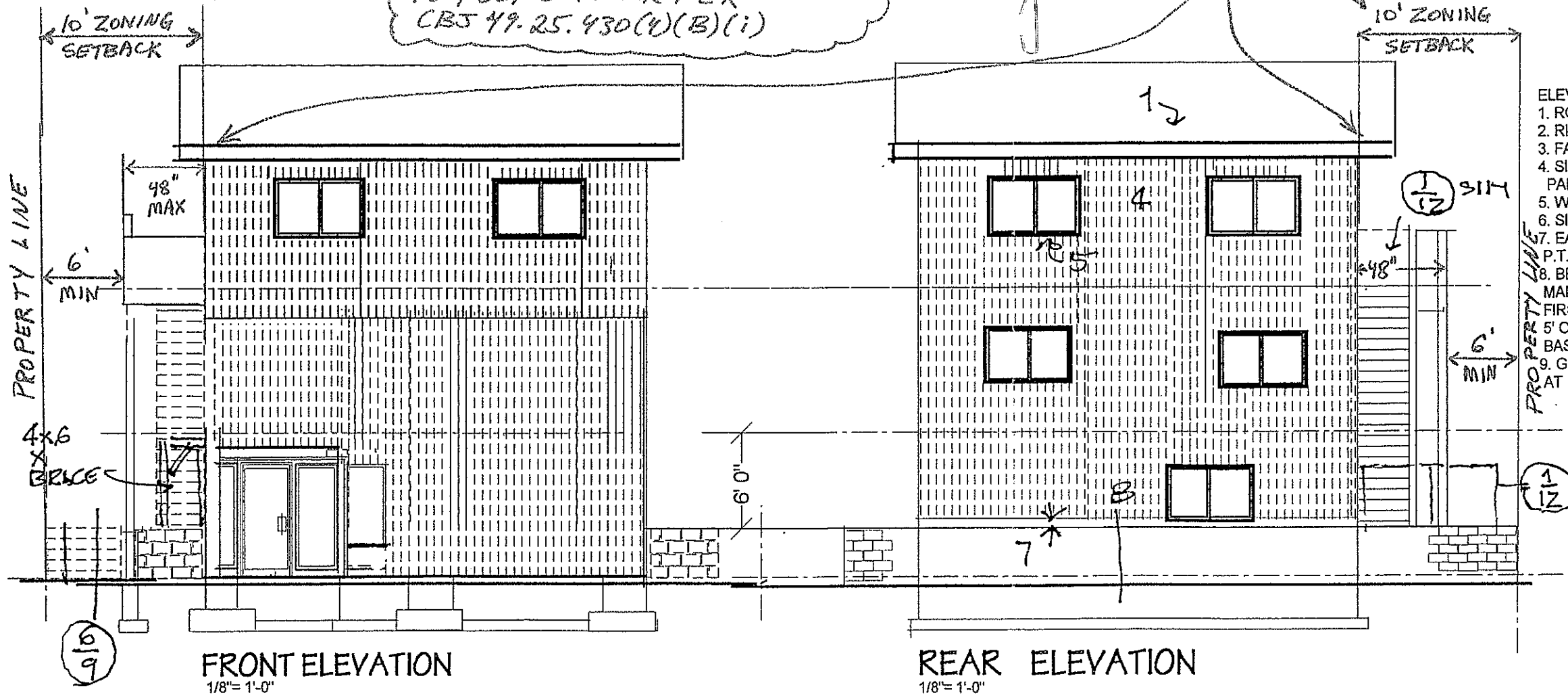


1/12 GUARDRAIL
3/8"=1'-0"

STAIR AND PORCH MAY EXTEND
A MAXIMUM OF 48 INCHES INTO
10 FOOT SETBACK PER
C.B.J. 49.25.430(4)(B)(i)

EAVES MAY PROJECT 40 INCHES
INTO 10 FOOT SETBACK PER
C.B.J. 49.25.430(4)(A).

Received
on
JAN 21 2000
C.B.J.
Permit Center

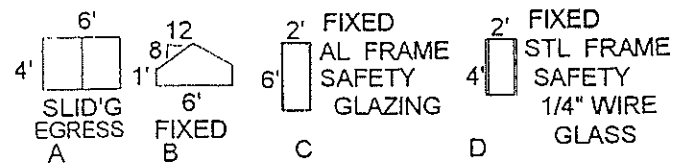


- ELEVATION NOTES
1. ROOFING-METAL ROOFING
 2. RIDGE VENT- AT RIDGE
 3. FASCIA-1 1/4 x 9 1/4" CEDAR
 4. SIDING-METAL ROOFING PANEL
 5. WINDOWS-VINYL R3
 6. SIDING TO EARTH-6" MIN.
 7. EARTH TO WOOD-6" UNLESS P.T.
 8. BERM-MASONRY UNITS NOTE MAINTAIN LESS THAN 6' FROM FIRST FLOOR TO BERM MEASURE 5' OUT FROM WALL FOR 50% OF BASEMENT.
 9. GRADE-SLOPE GROUND AT 2% SLOPE TO DRAIN

All deck + stair
wood to be PT.
or cedar.

HOTEL
WEST NINTH
JUNEAU, AK

A12 ELEVATIONS



WINDOW SCHEDULE

- GENERAL NOTES
1. VERIFY ROUGH OPENING
 2. EGRESS WINDOW TO CONFORM UBC
 3. WINDOWS WITHIN 2' OF DOORS & 5' OF STAIRS TO BE SAFETY GLAZ'G
 4. WINDOWS WITHIN 10' OF STAIR ENCLOSURE TO BE 3/4 HOUR RATED (FIXED)

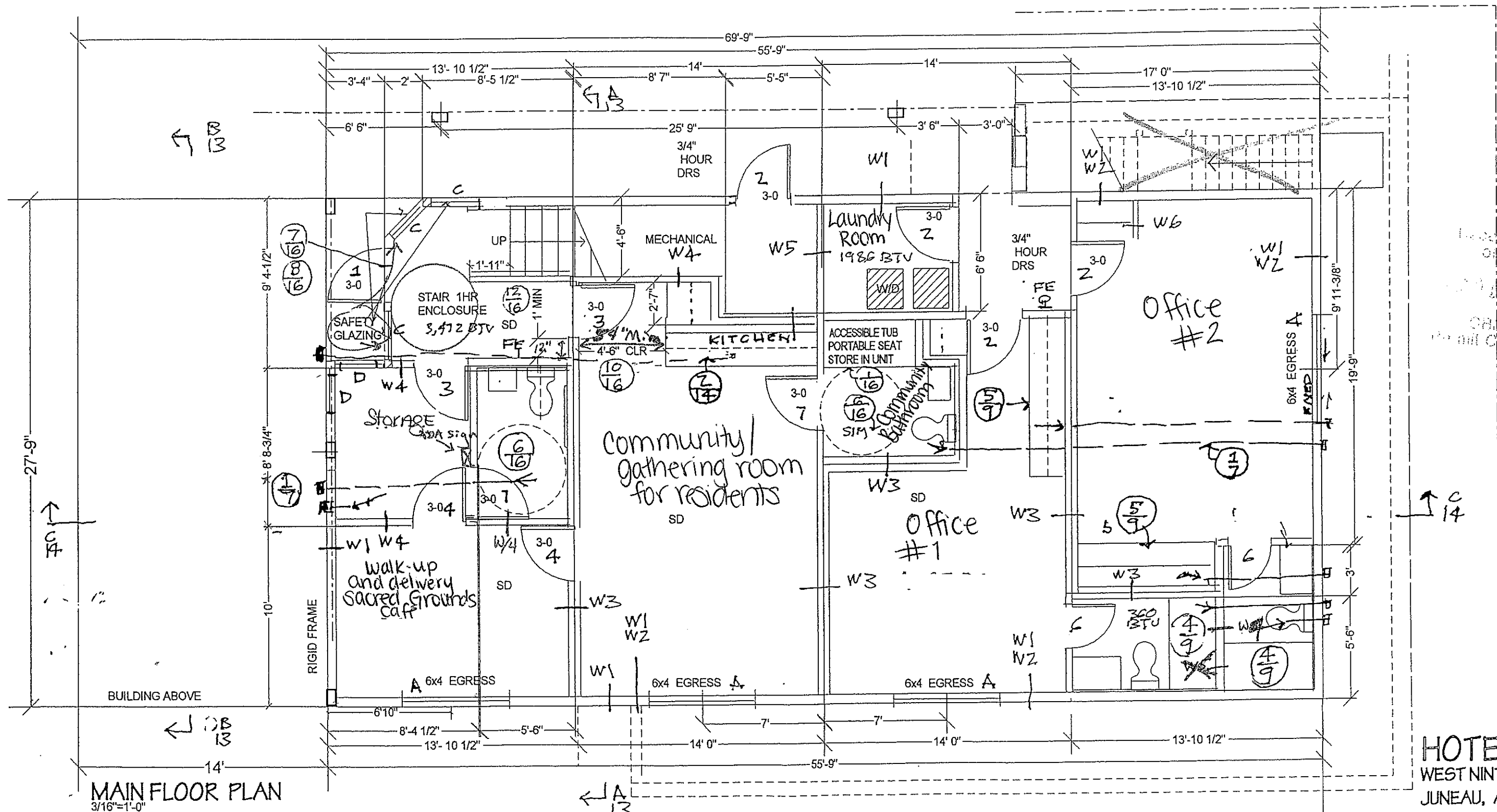
NOTE
BATHROOM WALLS & CEILING USE 5/8\"/>

NOTE 2
ANY TIME THE BUILDING IS OCCUPIED THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF FOOT CANDLES AT THE FLOOR LEVEL

NOTE 3
EXIT SIGNS ARE NOT REQUIRED DUE TO ONE EXIT SYSTEM

ADA exits signs are required per UBC 1103.2.4.2.

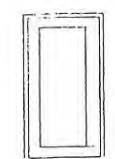
NOTES 1
BATHROOM WALLS & CEILING USE 5/8\"/>



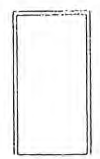
Received
on
12/1/1999
City of Juneau
City Center

HOTEL
WEST NINTH
JUNEAU, AK

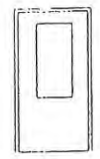
A5 GROUND FLOOR



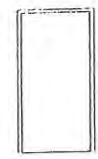
EXT. DOOR 1
NON RATED
3'x6-8" AL
FRAME & DR
FULL LITE
INSULATED
SAFETY GLAZ'G
WEATHERSTRIP
ADA CLOSER
(8# FORCE)
ADA SYMBOL
ADA LEVER LOCK
1/4" THRESHOLD
HEAVY DUTY BALL
BEARING HINGES



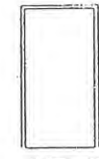
EXT. DOOR 2
3/4 HR RATED
3'x6-8"
MT. FRAME &
DR.
INSULATED
WEATHERSTRIP
ADA LEVER LOCK
1/4" THRESHOLD
HEAVY DUTY BALL
BEARING HINGES
Closer & Gasket



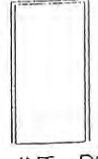
EXT. DOOR 2A
3/4 HR RATED
3'x6-8"
MT. FRAME &
DR. -INSULATED
1/2 LITE 1/4"
WIRE GLASS
ADA CLOSER
WEATHERSTRIP
ADA LEVER LOCK
1/4" THRESHOLD
HEAVY DUTY BALL
BEARING HINGES



STAIR DOOR 3
1 HR RATED
END POINT TEMP
450 F AT 30 MINUTES
(UBC STD 7-2)
3'x6-8"
MT. FRAME &
DR.
OPTIONAL SMOKE
GASKET
ADA LEVER LOCK
1/4" THRESHOLD
BALL BEARING
HINGES



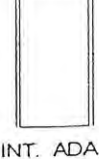
INT. DOOR 4
1 HR RATED
3'x6-8"
MT. FRAME &
DR.
OPTIONAL SMOKE
GASKET
ADA LEVER LOCK
1/4" THRESHOLD
BALL BEARING
HINGES



INT. DOOR 5
OPTIONAL 20 MIN.
RATED 3'x6-8"
MT. FRAME &
DR.
SMOKE GASKET
ADA LEVER LOCK
1/4" THRESHOLD
BALL BEARING
HINGES



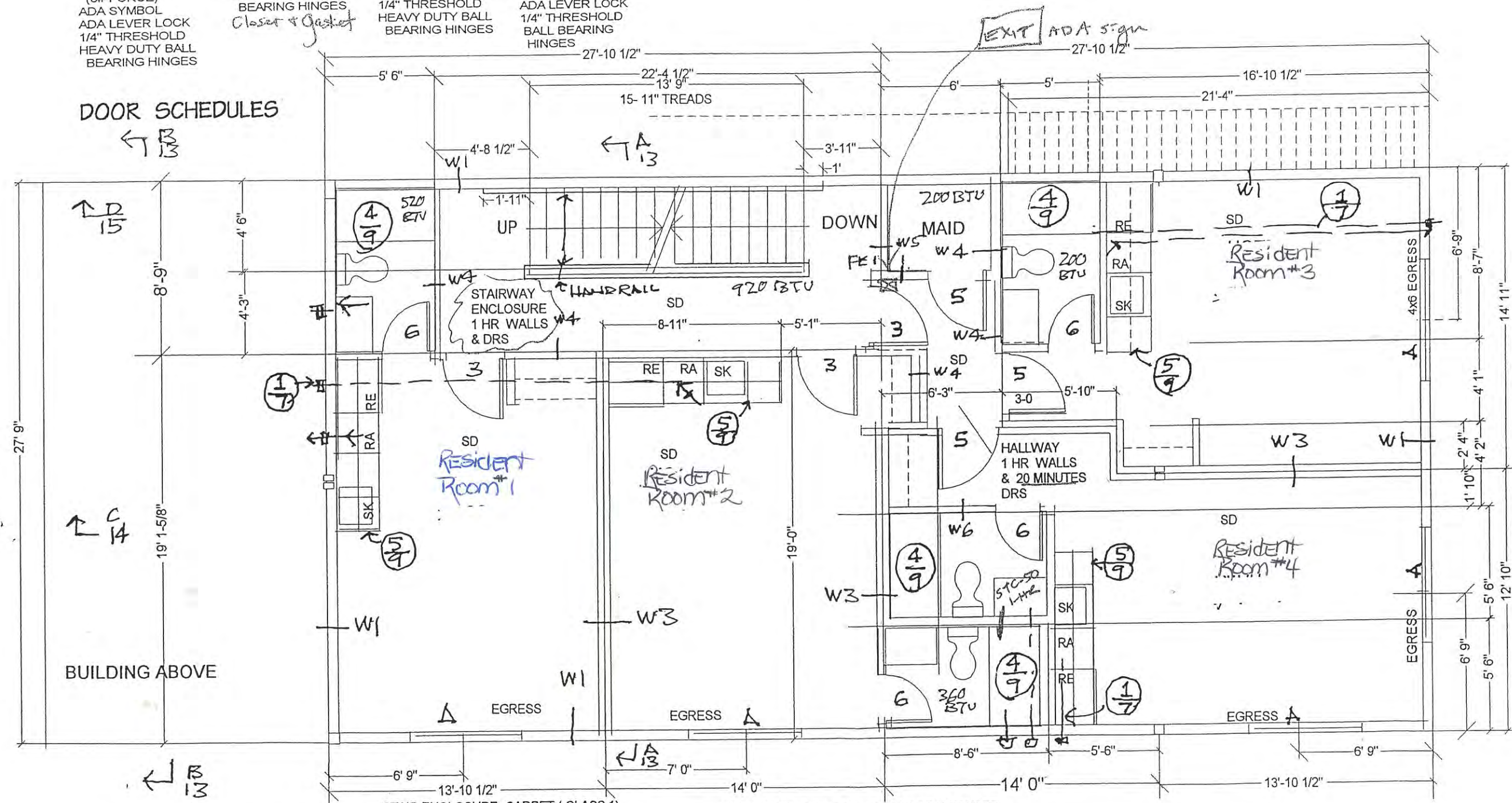
INT. HOTEL RM 6
NON. RATED 2'-4"x
6'-8" DR WD
WD FRAME & DR
HINGES
PRIVACY LOCK



INT. ADA RM 7
NON. RATED
3'-x 6'-8"
WD DR & FRAME
HINGES
LEVER PRIVACY
LOCK

1. VERIFY DR. SWING & RO
2. VERIFY ACCESS FOR ADA
3. PROVIDE FLASHING @ EXT. DOORS
4. SAFETY GLAZING IN DOORS & WITHIN 2'
5. VERIFY FINISHES
6. PROVIDE WALL OR FLOOR STOPS
7. RATED DOORS REQUIRED LABELS

DOOR SCHEDULES



FIRST FLOOR PLAN
3/16" = 1'-0"

STAIR ENCLOSURE- CARPET (CLASS 1)
WALLS & CEILING- GYP BD PAINT (CLASS 1)
ROOMS & NON RATED HALLWAYS
CARPET (CLASS 111 OKAY USE CLASS 2)
WALLS & CEILING GYP BOARD PAINT (CLASS 1)
HOWEVER CLASS 111 OKAY

NOTE MAID, LAUNDRY, AREAS ARE NOT USED
IN COMMON BY HOTEL GUEST, THUS THEY NEED
NOT BE SEPARATED BY ONE HOUR.

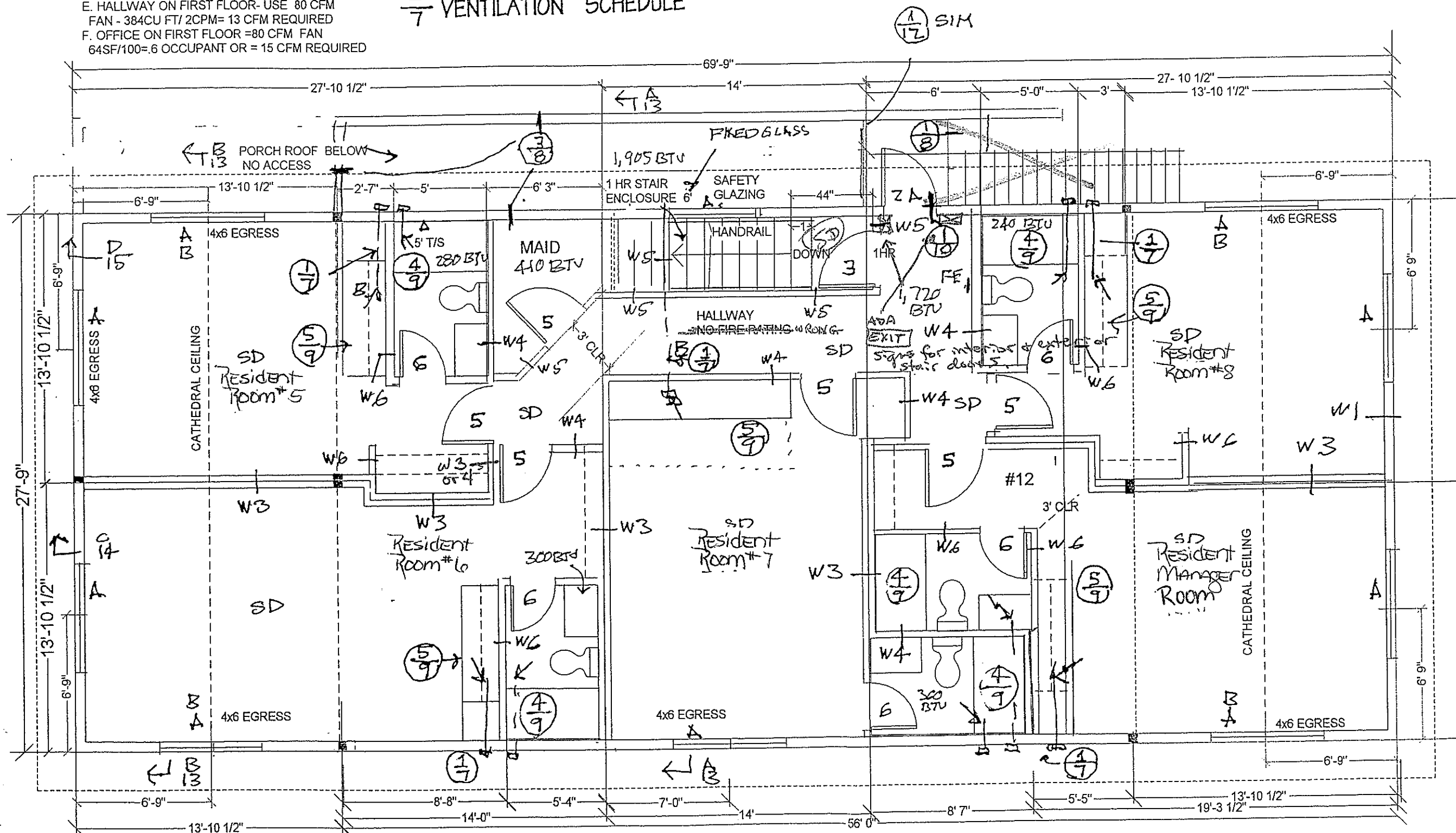
Attachment B - Site Plan and Parking Plan

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CBJ
Permit Center
HOTEL WEST NINTH
JUNEAU, AK
A6 FIRST FLOOR

VENTILATION SCHEDULE
 A - TOILET EXHAUST - USE 80 CFM FAN
 BOTH ACCESSIBLE & NON ACCESSIBLE
 5 AIR CHANGE/ HOUR REQUIRED- ACCESSIBLE
 TOILET 440 CU FT, NON ACCESSIBLE 260CU FT
 440/12= 37 CFM REQUIRED =
 B KITCHEN AREA -USE 150 CFM FAN
 LARGEST KITCHEN 520CU FT/ 5 CPM= 43 CFM
 REQUIRED
 C. STAIRS-OPERABLE OPENINGS
 D. HALLWAY ON SECOND FLOOR -OPERABLE
 DOOR
 E. HALLWAY ON FIRST FLOOR- USE 80 CFM
 FAN - 384CU FT/ 2CPM= 13 CFM REQUIRED
 F. OFFICE ON FIRST FLOOR =80 CFM FAN
 64SF/100=.6 OCCUPANT OR = 15 CFM REQUIRED

VENTILATION NOTES
 1. RUN BATH EXHAUST FANS TO EXTERIOR IN
 4" SMOOTH METAL DUCT WITH APPROVED
 JOINT TAPE, AND WITH BACK DRAFT DAMPER,
 (MIN. 3' FROM ANY OPERABLE WINDOW/ DR0
 2. RUN KITCHEN EXHAUST FROM FANS TO]
 EXTERIOR IN 8" SMOOTH METAL DUCT WITH
 APPROVED JOINT TAPE, DUCT ENDS WITH
 BACKDRAFT DAMPER (AT LEAST 3' FROM OTHER
 INTAKE OPENINGS.)

1/7 VENTILATION SCHEDULE



15

14

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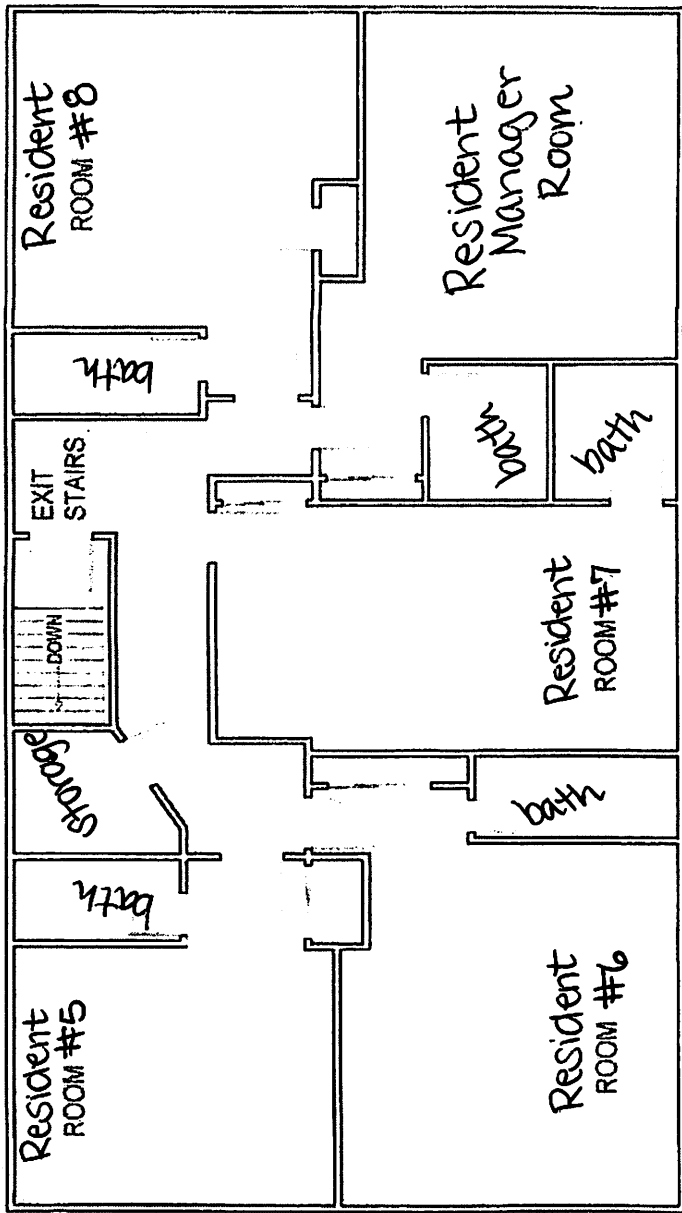
SECOND FLOOR PLAN
 3/16"=1'-0"

FE = FIRE EXTINGUISHER
 SD = SMOKE DETECTOR

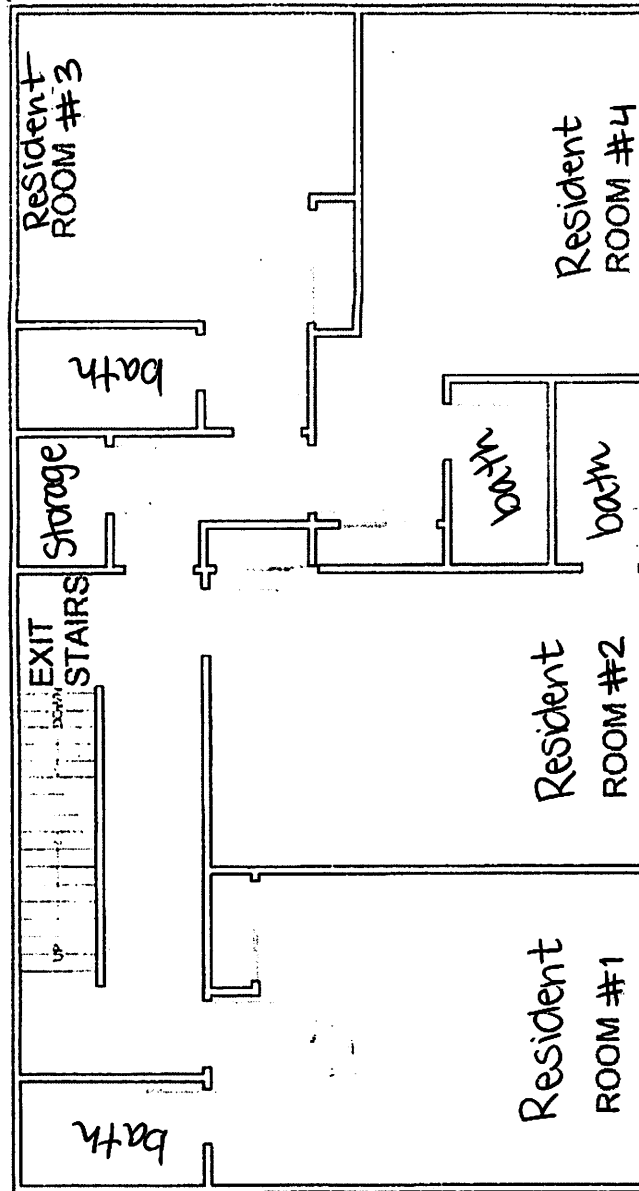
ABC

HOTEL
 WEST NINTH
 JUNEAU, AK

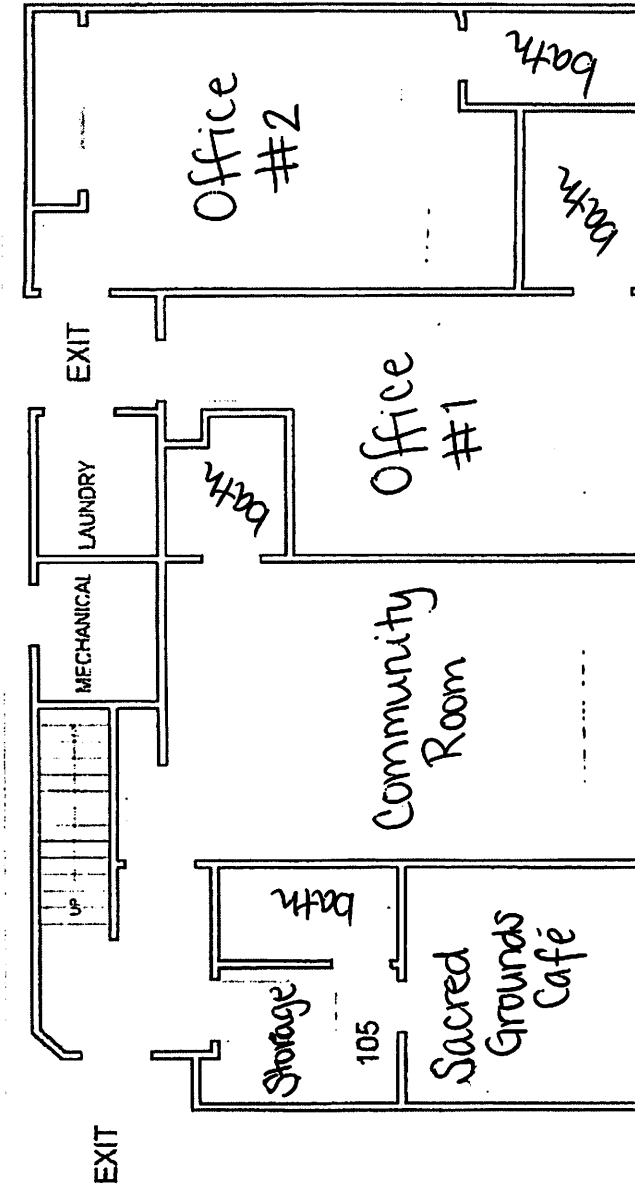
Second Floor



First Floor



Ground Floor (Main)





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JAN 21 2010
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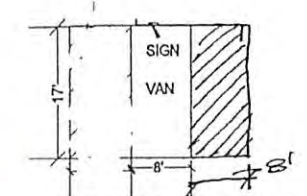
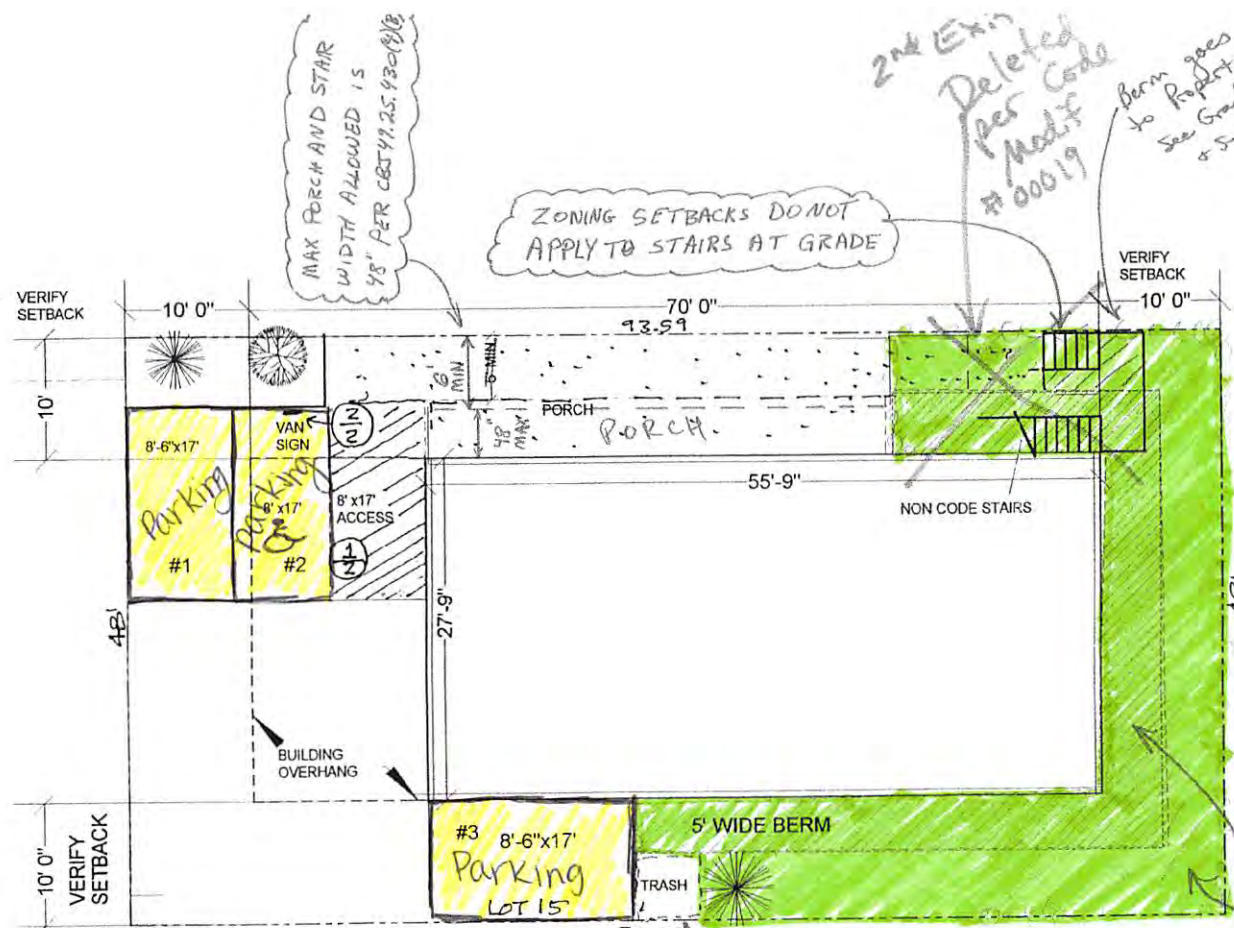
Verify min # of
stories before TCO.
If not 2-story +
basement, code
requirements change.

Berm to be min
50% of perimeter.

HOTEL
WEST NINTH
JUNEAU, AK

A2 SITE PLAN

- SITE PLAN GENERAL NOTES**
1. LAYOUT BUILDING CONFORMING TO CBJ SETBACKS PRIOR TO POURING CONCRETE IN ORDER TO AVOID DISCREPANCIES (ALLOW FOR SHEETING AND SIDING THICKNESS) -
 2. OWNER TO PROVIDE SURVEYOR STAMP SITE PLAN, AND ELEVATIONS & CONTOURS DATA, EASEMENTS ETC
 3. VERIFY FLOOR ELEVATION OF SLAB WITH OWNER.
 4. VERIFY UTILITIES LOCATION WITH UTILITY COMPANY AND OWNER



LEVEL PARKING (MAX 2% SLOPE)
LOCATE VAN-ACCESSIBLE SIGN
AT SPACE
STRIPPING 3" WIDE BLUE PAINT

VAN ACCESSIBLE



ALUM. SIGN 10" x 14"
ON METAL SUPPORT
6' FROM GRADE TO
SIGN. (CONSTRUCTION
SIMILAR TO STREET
SIGN)

VAN-SIGN

PERIMETER AND BERM
MUST BE PLANTED WITH
VEGETATION

= vegetative cover
 = parking spots (3)

SITE PLAN
1" = 10'

BUILDING AREA

MAIN FLOOR PLAN	1,477 SF
FIRST FLOOR PLAN	1,547 SF
SECOND FLOOR PLAN	1,935 SF
TOTAL FLOOR AREA	4,959 SF

COMMUNITY DEVELOPMENT

address= 1255 WEST NINTH STREET
legal= TIDELANDS 60116BT
zoning=WATERFRONT COMMERCIAL
setbacks= 10' FRONT, 10' SIDES, 10' REAR
use= 12 UNIT HOTEL
approval=PLANNING COMMISSION
parking required= 12 UNITS/4= 3 SPACES
accessible space=1 VAN SPACE 16'x17'
standard space= 2- 8'-6"x17'
loading space (ls)=NOTE REQUIRED
UNDER 5000SF
building height=35' PER CBJ
lot area= 4,492SF
vegetation required= 4,49 SF
vegetation provided= 4,49 SF PLUS (GRASS
ON BERM AND AREA)

TRASH AREA MUST BE
ENCLOSED BY A SIGHT
OBSCURING FENCE



CENTRAL COUNCIL

Tlingit and Haida Indian Tribes of Alaska

Public Safety • Second Chance Reentry Program

320 W. Willoughby Ave. Suite 331 • Juneau, Alaska 99801

Yak'éiyi Khustí Yinaadei Hít Housing Program Resident Intake Packet

Please read each page in its entirety and sign and/or initial each page as required. Residents acknowledge all pages in this document and will be expected to abide by all policies, rules and expectations outlined within. This intake packet will be maintained in individual's files and will be referred to in the event policies are violated or questioned. You have the right to review this packet upon request, a copy will be made for you to keep in your own personal files.

Table of Contents

<i>Program Agreement</i>	<i>2-3</i>
<i>Financial Agreement.....</i>	<i>4</i>
<i>Program Rules of Residency</i>	<i>5-7</i>
<i>General House Guidelines</i>	<i>8-10</i>
<i>Length of Stay, Move Out / Dismissal</i>	<i>11</i>
<i>Resident's Visitor Guidelines</i>	<i>12</i>
<i>Medication Guidelines.....</i>	<i>13</i>
<i>Principles of Recovery</i>	<i>14</i>
<i>Relapse Policy</i>	<i>15</i>

Housing Program Agreement

This program agreement is made between _____
(hereinafter referred to as Resident) and the Second Chance Reentry Housing Program
(hereinafter referred to as Yak'éiyi Khustí Yinaadei Hít).

THE PARTIES AGREE AS FOLLOWS:

The Second Chance Reentry Housing Program, in conjunction with the Alaska Department of Corrections Housing Provider Contract, extends the program services and living quarters of a transitional housing unit, Yak'éiyi Khustí Yinaadei Hít, to the Resident signing this agreement. Yak'éiyi Khustí Yinaadei Hít is not a general rental property. Residents may be moved to another unit within the Yak'éiyi Khustí Yinaadei Hít property.

Term: The agreement term will begin on _____ and will remain in effect for _____ months unless violations of house rules require early removal from the program or otherwise arranged in agreement with Yak'éiyi Khustí Yinaadei Hít staff and the Resident's assigned Probation Officer.

Payment: The Resident agrees to pay Yak'éiyi Khustí Yinaadei Hít as agreed in the Financial Agreement.

Use of Premises: The resident shall occupy and use Yak'éiyi Khustí Yinaadei Hít as a primary dwelling. Residents must keep their individual and shared living space clean, help keep common spaces clean, and cook their own meals. Weapons (including BB guns), fighting, or threats to other persons will NOT be tolerated.

- Residents will NOT be allowed into Yak'éiyi Khustí Yinaadei Hít while intoxicated or under the influence of a controlled substance.
- Visitors will NOT be allowed onto the premises while intoxicated or under the influence of a controlled substance.

Obligations:

Resident's obligations shall include:

- Keeping all interior premises clean. Random room inspections will occur to ensure upkeep.
- Informing Yak'éiyi Khustí Yinaadei Hít staff of any needed repairs or damage immediately upon discovery.

Yak'éiyi Khustí Yinaadei Hít's obligation for maintenance shall include:

- Exterior/Interior structural repairs.
- Utility repairs.

Utilities: Utilities including heat, water, sewer, and are provided by Yak'éiyi Khustí Yinaadei Hít. The resident shall not contract for any utility service that requires installation of equipment of any kind on Yak'éiyi Khustí Yinaadei Hít property.

Defaults: The resident shall be in default of this agreement he violates Yak'éiyi Khustí Yinaadei Hít rules or policy. If a resident is terminated from residency, he must pack his

belongings and vacate Yak'éiyi Khustí Yinaadei Hít as directed. Any belongings not removed with three (3) days of termination will be disposed of by Yak'éiyi Khustí Yinaadei Hít. In the event of incarceration, program staff will attempt to transfer personal belongings to friends or family, with resident consent, and with no responsibility for the final disposition of belongings.

Smoking: Smoking is prohibited inside of the Yak'éiyi Khustí Yinaadei Hít facility and discouraged in general. Residents will be given assistance in quitting tobacco. Residents may smoke outside in the designated smoking area. Provided receptacles **MUST** be used to discard cigarette butts for health, safety and sanitation reasons. Residents must respect quiet hours posted of 9:00 pm to 7:00 am in the smoking area, in addition to the quiet hours posted in the Program Rules of Residency.

Guests: Visitors must be prior approved a minimum of 24 hours in advance except in the event of an emergency (death of close family member/medical emergency) Guests are permitted in the common areas only; any guest found in a resident bedroom will be removed from Yak'éiyi Khustí Yinaadei Hít facility and will not be allowed to return. Guests under the age of 18 must be accompanied by a parent or other legal guardian at all times. Residents will understand that unapproved guests may not meet residents in the nearby park or congregate in other areas near the property. If this occurs, access to the park will be limited with the consequence of dismissal from the program.

Other Requirements: The resident agrees to participate in daily breath-analysis testing and periodic urinalysis testing (conducted by the Juneau Probation Office).

Resident agrees to follow all program elements outlined at intake/Individual recovery action plan.

_____(Initial) I agree to the release of information to the Alaska Department of Corrections.

I have read and agree to all of the above:

Yak'éiyi Khustí Yinaadei Hít Resident Signature

Date

Yak'éiyi Khustí Yinaadei Hít Staff Signature

Date

Financial Agreement

Following through with commitments is an important part of recovery. By residing at Yak'éiyi Khustí Yinaadei Hít you are agreeing to follow through with paying a monthly house contribution. Staff will assist you in honoring this commitment.

Resident Financial Resources: Yak'éiyi Khustí Yinaadei Hít staff will help direct a resident in need of financial support to the proper agencies.

Resident Expenses:

- All residents agree to pay \$____ a month to Yak'éiyi Khustí Yinaadei Hít for household contributions.
- Resident may request an alternative payment schedule that must be approved by the Program Coordinator.
- Payment must be delivered in person to either the Program Coordinator or Case Manager, or in accordance with policy outlined in the DOC Housing Provider Agreement.
- Staff may request you provide a copy of your most current pay stub.
- Total amount owed will be prorated for the first month you move in and for the last month that you move out, if you move out according to a mutually agreeable move-out date and move out all of your belongings.
- Failure to provide payment may result in a seven-day dismissal notice.
- First payment of \$_____ is due your move in day. This will be applied towards your key deposit and first month's rent.

Resident's Key:

- Upon receipt of \$50 key deposit the resident will be given a key to their shared living quarters.
- The key deposit will be returned when resident leaves when the key is returned.
- If a key is lost and another is given to resident, they forfeit their deposit.
- If a key is not returned within 7 days of moving out, the resident will forfeit his deposit.

If a Resident fails to make payment, the following will occur:

- Must submit hardship letter to Program Coordinator on or before the date the payment is due.
- Resident will meet with the Program Coordinator or designee within two days of missing a payment.
- The Resident must agree to and comply with an arranged payment plan.
- Residents cannot owe more than one month's rent.
- Resident's owing more than one month's rent will result in a seven day dismissal notice.

Program Rules of Residency

I, _____, understand and agree to follow the rules expected of me during my residency at Yak'éiyi Khustí Yinaadei Hít. A violation of any one of these rules can result in immediate eviction.

Staff are responsible for monitoring and enforcing all rules. Immediate dismissal for non-negotiable violations include:

1. Unauthorized absences
2. Use of any mood or mind altering substances on the premises

Drug/Alcohol Testing: Staff reserves the right to screen residents for drugs and alcohol. A breathalyzer will be conducted:

- At admission
- With suspicion of use as indicated by altered behavior or physical appearance
- At random

If residents refuse to be tested or a test positive, please see Relapse P&P. All residents will be provided the results of the breathalyzer test signed by the Program Coordinator/Case Manager and the resident. Yak'éiyi Khustí Yinaadei Hít DOES NOT keep or store any illegal and confiscated drugs on the premises. They will be disposed of immediately. In the event that a random urinalysis is warranted, the test will be administered by either the Department of Corrections staff or the Probation Office staff.

Curfew: All residents must return each evening **by curfew at 10:00 p.m.**, unless engaged in scheduled employment and with the written, prior permission of the Program Coordinator, Case Manager or Resident Manager.

- Residents may not request changes in their curfew in the initial 30 day introductory period unless employment is involved
- Residents must submit a special request form and submit it to the Program Coordinator or Case Manager no later than 48 hours prior to requested change
- All residents are required to have approved authorization from the assigned Probation Officer as well as Program Coordinator/Case Manager for offsite stays of more than 24 hours. Deviation from approved plans will result in the Probation Officer being notified
- **Any resident absent for more than 24 hours may be dismissed**
- The Resident Manager will verify that each resident is home at their curfew

Actions Prohibited

- No resident can give his right to occupy a bedroom to anyone else
- No resident may sub-lease a room to another person for any period of time
- No resident may install, change, or remove any door lock without approval from staff
- Possession of pornography in any form (books, magazines, photos, videos, movies, sex toys, sound tapes, or equipment)

- Engaging in sexual relations with other residents
- Tampering with smoke detectors or fire alarms
- Theft or intentional damage to the transitional housing property or the property of other residents
- Possession of firearms or any other deadly weapons
- Threats of and/or violence
- Any city/state/federal law or probation/parole violation
- Curfew violations or refusal of a drug and/or alcohol screen
- Failure or refusal of the resident to cooperate fully, sign any required document, or submit to any testing or inspection by program staff, the resident's probation/parole officer, or any other authority

Initial:

_____ 1. **Yak'éiyi Khustí Yinaadei Hít maintains ZERO TOLERANCE for alcohol, drugs, or weapons.**

_____ 2. **Ensure Safety:** Residents must check in daily and be home each night unless otherwise approved by staff and the proper process has taken place.

_____ 3. **Daily Breath Analysis:** Residents must blow in randomly. Residents will be subject to random urinalysis tests by the Juneau Probation Office.

_____ 4. **Prescribed medication:** Residents will notify the Case Manager of any prescription medications. A copy of the prescription will be put in the resident's file. The Resident will be responsible for any prescription medications. Prescription narcotics are not allowed without written staff approval; these will only be approved in emergency circumstances and will be secured by Yak'éiyi Khustí Yinaadei Hít staff.

_____ 5. **Quiet Hours:** Between 10:00 pm – 6:00 am residents must reduce the volume of conversations, stereos, radios, and televisions to a level that does not disturb other residents. Laundry may not be done between these hours. Be polite and respectful of others. Quiet hours in the smoking area are from 9:00 pm-7:00 am.

_____ 6. **Guests:** Visitors must be approved by Yak'éiyi Khustí Yinaadei Hít staff 24 hours in advance. It is understood that a proper background check may initially take more than 24 hours and Residents should plan accordingly. No visitor will be allowed that has a sex offense on his or her record. Guests are permitted in the common areas only; any guest found in a Resident room will be removed from the Yak'éiyi Khustí Yinaadei Hít. Guests under the age of 18 must be accompanied by a parent or other legal guardian at all times. Residents will understand that unapproved guests may not meet residents in the nearby park or congregate in other areas near the property.

_____ 7. **Cleanliness:** The residents are responsible for maintaining the cleanliness of their living units, to include the individual bathroom/kitchen areas and common areas such as the Community Room. Chores will be assigned to ensure the facility is clean at all times.

_____ 8. **Housing Program Property:** Do not draw, write on, or otherwise deface Yak'éiyi Khustí Yinaadei Hít property. This includes curtains, walls, floors, doors, furniture, fixtures, etc.

_____ 9. **Fire Alarm:** Upon hearing the fire alarm, *all residents must exit the building immediately*, according to the posted fire exits. The use of candles or incense is strictly prohibited!

_____ 10. **Assaultive or threatening behavior** towards staff or others will result in immediate removal.

_____ 11. **Mail:** Yak'éiyi Khustí Yinaadei Hít has the right to screen all mail received at the housing facility.

_____ 12. **Transportation/Parking:** Residents will be responsible for their own transportation, i.e. buses, taxis, etc. Parking by residents or visitors will not be allowed on Yak'éiyi Khustí Yinaadei Hít property.

_____ 13. **Theft** of any item (e.g. food, money, personal belongings) will not be tolerated and may result in dismissal from the program.

_____ 14. **Moving Out.** Please advise Housing Program staff in advance if you are considering moving out of the facility so approval can be obtained from your assigned Probation Officer.

_____ 15. **Unauthorized areas.** The Sacred Grounds Café will be off-limits to Residents and guests during posted hours. Violation of these rules will be considered trespassing unless otherwise arranged with Sacred Grounds Café management. Staff has the right to designate any area off-limits if problems arise.

Consequences: Residents will be expected to respect and follow the house principles and rules. If a resident chooses to violate a rule or principle, consequences will result. Potential consequences could include:

- Restricting curfew
- Loss of visitor privileges
- Increased check-ins with staff
- Dismissal

Consequences will be individualized for each resident and will be situation dependent.

Appeal Process: An appeal may be made to the Program Coordinator, in writing, within one working day. A response to your appeal will be provided within three working days. Filing of an appeal, and response time, does not delay imposing consequences.

I have read and agree to all of the above:

Yak'éiyi Khustí Yinaadei Hít Resident Signature

Date

Yak'éiyi Khustí Yinaadei Hít Staff Signature

Date

General House Guidelines

Respect Your Peers:

- Residents must have permission before entering another resident's bedroom.
- Residents must be respectful of others' belongings. Although you may share a room with another, Residents must respect and maintain clear boundaries in shared spaces.
- Quiet hours are between 10:00 pm and 6:00am. This means that the volume of TV, voices, radios, etc. must be kept low at a respectful level.
- Yak'éiyi Khustí Yinaadei Hít Residents are not permitted to keep pets in the facility.

Responsibilities:

The Case Manager will inspect daily to ensure house responsibilities (chores) are completed.

- The Residents are responsible for making sure that their assigned area (laundry room, community room, parking area, vegetative cover, etc.) is kept clean the entire week.
- Any Resident not completing their responsibilities will be addressed and warned of possible consequences.
- All trash will be removed from each room and deposited daily in the dumpsters or garbage cans provided outside.

Employment:

- All Yak'éiyi Khustí Yinaadei Hít Residents are expected to have employment. The Yak'éiyi Khustí Yinaadei Hít Case Manager will assist residents in finding and securing employment.
- All Residents must have a job within 30 days or must be actively utilizing job services to find employment.
- Residents who are unemployed will be assigned additional house responsibilities or community service duties.

Utilities:

- Electricity, heat/hot water, sewer/water, and garbage pickup will be paid by Yak'éiyi Khustí Yinaadei Hít.
- Internet will be available for use in common areas.
- Residents must be mindful of their consumption of utilities and work together to not waste resources or over-use electricity or other controllable household expenses.

Laundry:

- Residents who have laundry going must remain in the home until they remove their items from the machines and return their clothes to their room.
- Residents MUST clean the lint trap after use to ensure dryer efficiency.
- Residents will keep laundry area neat and clean after use.
- Do not use dyes in the washer.
- Be respectful—the last load of laundry must be out of the dryer by 10:00pm

- If laundry is left overnight it will be removed. Yak'éiyi Khustí Yinaadei Hít will not be responsible for laundry not removed by 10 pm.

Items Provided by Yak'éiyi Khustí Yinaadei Hít Include:

- A Resident's first month of toiletries: toilet paper, paper towels, and laundry soap.
- All furniture, kitchen appliances and utensils, bed linens, and towels.
- One meal a week will be provided by Yak'éiyi Khustí Yinaadei Hít (to be prepared by assigned, rotating teams of residents to build life skills and teamwork). All other meals are the Resident's responsibility.

Each resident is responsible for his own property. Yak'éiyi Khustí Yinaadei Hít is not responsible for the replacement of stolen or lost personal items.

Resident Personal Belongings:

Most rooms will have two male occupants. Residents may bring a limited amount of personal belongings. The amount is limited to the storage areas available such as closets, and drawers in his room. No excess belongings will be stored on the property. Bicycles must be stored LOCKED to the provided bike rack so they are not obstructing exits.

Resident Dress Code:

- All residents should dress modestly.
- While in the common areas of the Yak'éiyi Khustí Yinaadei Hít facility you must wear a shirt and pants/shorts at all times.

Transportation & Personal Vehicles:

- All residents are responsible for their own transportation.
- Harbor Inn staff will assist all residents in locating public transportation.
- All residents must provide a copy of all travel passes to Case Manager.
- Residents must receive permission from their Probation Officer to have a vehicle. Residents are not allowed to park vehicles in the facility parking area or other unauthorized parking areas. If you would like to seek Probation Officer approval for vehicle parking, please see your Case Manager for other parking arrangements at the Andrew Hope Building parking lot.

Personal Electronic Devices:

- Each Resident may possess his own cell phone, but all cell phones are subject to staff monitoring.

Food:

- Each Resident's personal food must be clearly marked with his name and placed in his room/kitchen area.
- All Residents will respect these items as the property of the indicated Resident.
- Food items provided by Yak'éiyi Khustí Yinaadei Hít are to be shared with all Residents.

Smoking:

- There is no smoking inside Yak'éiyi Khustí Yinaadei Hít facility. The smoking area is marked and a proper cigarette butt disposal is provided. THIS DISPOSAL MUST BE USED BY ALL RESIDENTS AND VISITORS. No other smoking locations are authorized.

Community Phone:

- There is a house phone available 24/7 for all Residents. Please respect quiet hours.
- Local calls are free.
- International calls cannot be made from the phone.
- If a Resident is waiting to use the phone, then calls will be limited to 15 minutes.
- Cell phones ARE NOT ALLOWED AT ANY HOUSE OR COMMUNITY MEETINGS.

Damages:

- Residents must notify Yak'éiyi Khustí Yinaadei Hít staff when any equipment or appliance is not working properly and/or needs repair.
- Staff will conduct random checks of all Yak'éiyi Khustí Yinaadei Hít property to ensure compliance with the house rules and health and safety standards. Any evidence of illegal activity found during a check will be turned over to the local police and/or Resident's Probation/Parole Officer for investigation.
- If a Resident is determined to have caused damage and/or destroyed Yak'éiyi Khustí Yinaadei Hít property they will be held financially responsible for any damages due to their intentional act or negligence, including cleaning fees.
- Residents are not responsible for wear resulting from ordinary use. Yak'éiyi Khustí Yinaadei Hít retains the right to sue and to use all other rights and remedies, for the collection of damages and fees.

I have read and agree to all of the above:

Yak'éiyi Khustí Yinaadei Hít Resident Signature

Date

Yak'éiyi Khustí Yinaadei Hít Staff Signature

Date

Length of Stay and Move Out or Dismissal

After arriving at Yak'éiyi Khustí Yinaadei Hít, you are subject to a one month adjustment period. If during the one month adjustment period you honor all of the House Rules, you may stay for a period of up to 23 months (1 month adjustment period + 23 additional months) with a minimum stay of 6 months.

It is important that you stay at Yak'éiyi Khustí Yinaadei Hít a minimum of 6 months. According to an Alaska Judicial Council report in 2011, "the longer a felon is in the community without being re-arrested, the less likely that the felon will ever be re-arrested. This data is consistent with national studies that showed that offenders were most likely to be rearrested for new offenses soon after their release from a previous incarceration."

The 6 months post-release is a critical time for preventing recidivism, and the more programming involved in that time, the greater the odds the participant will avoid a remand to incarceration.

Move Out:

- Minimum seven day written notice prior to moving out. The Resident must also have written permission from his assigned Probation Officer.
- A walk-thru must be conducted with the departing Resident a minimum of 48-hours prior to departure to annotate any damages or needed repairs prior to the next occupant taking residency.
- The departing Resident must have their room cleaned, sanitized and inspection ready 3 hours prior to move-out. If the room does not meet standards, the departing Resident will use that time to clean the room to meet standards
- The departing Resident must provide proof of address change, if mail had previously been delivered to Yak'éiyi Khustí Yinaadei Hít.
- The departing resident must turn in their key to Yak'éiyi Khustí Yinaadei Hít staff.
- The Program Coordinator or designee must be present when resident leaves.
- Any resident leaving their belongings behind will have 72 hours to pick up their belongings (unless otherwise arranged). Afterwards, the belongings will be discarded.
- Any ID (licenses, credit cards, etc.) will be held for 3 months in the office.

The Program Coordinator or designee will complete an Exit Form which includes:

- The reason for moving out
- The Case Manager's plan for follow-up
- Any suggestions for program improvements
- A forwarding address and/or contact information for someone who can be contacted in that mail is received or personal belongings are found after departure. (*Note: Yak'éiyi Khustí Yinaadei Hít will not be responsible for belongings left behind but will make a reasonable attempt to return them, provided the proper information is provided*)

Resident's Visitor Guidelines

- Only legal family members may visit residents at Yak'éiyi Khustí Yinaadei Hít. Legal family members may include: spouse/domestic partnerships, mother, father, brothers, sisters, children, grandparents, grandchildren, aunts, uncles, and cousins. Exceptions may be considered for verifiable, previously established, long-term relationships. *This will be determined on a case-by-case basis.*
- Visitors must be scheduled at least 24 hours in advance and approved by Program Coordinator or Case Manager.
 - Background checks will be conducted. **Those with sex offenses on their records will not be allowed in the facility or on Yak'éiyi Khustí Yinaadei Hít property under any circumstances, regardless of family member status.**
- Visiting will occur in the Community Room and visitors must leave by 9 pm.
- All visitors must sign a confidentiality agreement on their first visit.
- All residents are responsible for providing staff with a list of unauthorized contacts by Probation. Violations of victim contact are immediate grounds for removal from the program.
- Visitors may be asked to leave by staff at any time, for any reason.
- Residents will understand that unapproved guests may not meet residents in the nearby park or congregate in other areas near the property. If this occurs, access to the park will be limited with the consequence of dismissal from the program.

Visitation of Children

It is not uncommon for men residing at Yak'éiyi Khustí Yinaadei Hít to experience challenges reestablishing their parental role in lives of their children. Some men may feel inadequate or lacking the skills to support both their children's needs as well as their own. Yak'éiyi Khustí Yinaadei Hít staff is here to support you finding a pathway to being a healthy, confident, loving parent. If you would like your child(ren) to visit you at Yak'éiyi Khustí Yinaadei Hít facility, a parenting goal will be added to your case plan.

Children must be supervised by their parent at all times. At no time can you leave your child in the care of another resident. Please clean up any messes made during the visit with your children. Yak'éiyi Khustí Yinaadei Hít staff will request future visits occur in another location if visits become disruptive to the facility.

Residents are encouraged to work with other parents living in Yak'éiyi Khustí Yinaadei Hít facility to arrange family-friendly activities to facilitate positive bonding opportunities between father and child. Parenting can be a struggle and sometimes it "takes a village." Peers can be a valuable resource for learning how to reestablish these healthy relationships. You will be responsible for working with the Case Manager and potentially outside resources prior to your children coming to the home, but staff will assist in the logistics of creating kid-friendly activities, as long as they are reasonable.

Medication Guidelines

Yak'éiyi Khustí Yinaadei Hít is not responsible for the storage or dispensing of medication for residents. Residents must keep their prescription medication in their personal property, out of sight. Prescription medication containing narcotics, alcohol, or cannabis are not allowed on the property.

- Prescription pain medication must be non-narcotic. You are responsible for informing your medical provider of this requirement.
 - Prescription narcotics are not allowed without written staff approval; these will only be approved in emergency circumstances and will be secured by Yak'éiyi Khustí Yinaadei Hít staff.
- All medication, including over-the-counter medication, must be disclosed and recorded by the Program Coordinator or Case Manager during admission; any changes MUST be reported to Program Coordinator or Case Manager immediately.
- Residents cannot give their medication to other Residents.
- If a Resident has to go to the emergency room or hospital, they must bring their release paperwork to the office once they return.
- Any prescriptions or medication dispensed to the Resident by the hospital must be reported immediately.
- A violation of this policy is grounds for dismissal.

Principles of Recovery

Yak'éiyi Khustí Yinaadei Hít upholds the following Principles of Recovery:

1. There are many pathways to Recovery.
2. Recovery is self-directed and empowering.
3. Recovery involves a personal recognition of the need for change and transformation.
4. Recovery is holistic.
5. Recovery exists on a continuum of improved health and wellness.
6. Recovery emerges from hope and gratitude.
7. Recovery involves a process of healing and self-redefinition.
8. Recovery involves addressing discrimination and transcending shame and stigma.
9. Recovery is supported by peers and allies.
10. Recovery involves (re)joining and (re)building a life in the community.

Each of us has our own pathway to Recovery. Yak'éiyi Khustí Yinaadei Hít is a Recovery-focused program, not a treatment program. Yak'éiyi Khustí Yinaadei Hít believes that pathways to Recovery stem from resiliency.

Yak'éiyi Khustí Yinaadei Hít believes that Recovery must come first and is committed to creating a space for you to prioritize your Recovery! Our values are embodied by the following fundamental guidelines that all residents and staff must abide by:

1. Surround yourself with positive recovering people and always put YOUR Recovery first!
2. Take care of yourself physically, mentally and spiritually.
3. Put your Recovery first and allow staff to help you see ways you may improve.
4. Remain true to your pathway and your Recovery.
5. Recognize that sharing your experience, strength, and hope may be more helpful to others than your opinion.
6. Do not ask others to do something you would not do yourself.
7. Celebrate both the shared experiences of Recovery and the unique qualities of each person's pathway.
8. Learn by your mistakes: Have the honesty to recognize mistakes and the humility and courage to embrace and apply the lessons they present.
9. Recognize that we are all in this together.
10. Remember that as you give, you receive, and as you receive, you give. Recovery is being available to give and receive. One cannot selflessly give without graciously receiving.
11. Stick to your commitments.
12. Tell it like it is; do not embellish your experience.
13. Remember that you only have today.
14. Take care of yourself and your family.

Yak'éiyi Khustí Yinaadei Hít believes Recovery is a process of learning to live by values such as honesty, truthfulness, respect for the dignity of oneself and others, and integrity. We also learn to acknowledge the many ways in which we betrayed ourselves and our values during our addiction and come to forgive ourselves for the wrongs we have committed against ourselves and others.

Resident Relapse Policy

A Resident under the influence of a substance or with a substance in his possession is jeopardizing the safety and recovery of every other Resident and will be dismissed from Yak'éiyi Khustí Yinaadei Hít.

Relapse Discharge Procedure:

1. If Yak'éiyi Khustí Yinaadei Hít staff has reason to suspect that a resident is under the influence of any substance including alcohol, the resident's Probation/Parole Officer will be immediately notified.
2. If the incident occurs after hours (5pm-8am), staff will contact the on-call officer to inform them of the violation.
3. Residents MUST submit to inspection and/or drug testing when requested by Yak'éiyi Khustí Yinaadei Hít staff, the resident's Probation/Parole Officer, or any other authority. Refusal to cooperate fully, sign any required document, or submit to any testing or inspection by Yak'éiyi Khustí Yinaadei Hít staff, the resident's Probation/Parole Officer, or any other authority may result in your immediate dismissal.

Re-Admittance: Input regarding program re-admittance will be considered from Yak'éiyi Khustí Yinaadei Hít staff, the assigned Probation/Parole Officer, treatment providers and the Resident's sponsor/mentor. Additionally, a house meeting with all remaining Residents will be held to assess the needs and safety of other residents after a relapse. A Resident MAY be eligible to return under the following conditions:

- Must have at least 72 hours clean of substances and be able to pass a drug test given at time of intake, as well as randomly throughout the next 30 days.
- Must have a substance use assessment completed or be scheduled for one, and be willing to follow all treatment recommendations.
- Must have a sponsor and/or recovery coach and be willing to follow their recommendations.
- Must have written approval from the assigned Probation/Parole Officer.

The Program Coordinator, together with the Case Manager and assigned Probation/Parole Officer, will make the final determination of a Resident's eligibility to return to Yak'éiyi Khustí Yinaadei Hít.

Former Resident Personal Property: If a former resident leaves their personal property behind, it will be held for 72 hours unless otherwise arranged. After 72 hours we will discard the personal property. Documents such as a driver's license, Social Security card, etc. will be held for three months in the office.



January 4, 2019

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

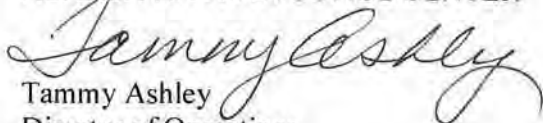
The Alaska Native Justice Center (ANJC) strongly supports the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program for men returning from incarceration. The Alaska Native Justice Center is a non-profit organization, formed in 1993 to serve the unmet needs of Alaska Natives within Alaska's civil and criminal justice system. Our mission is "Justice to Alaska Natives People" and we strive to accomplish this through working with community and statewide partners.

Studies show that people released from prison are less likely to reoffend, and less likely to go back to prison if they have stable, secure and supportive housing. The value of cultural support is also becoming more widely recognized as a useful tool in the reentry process. Tlingit & Haida is developing this comprehensive program for both Native and non-Native community members to provide a foundation for successful reentry and a direct link to employment through their for-profit entities. This in turn increases public safety and provides an opportunity for a population that has traditionally experienced difficulty in obtaining housing and employment opportunities. The City and Borough of Juneau's emphasis on creating obtainable and affordable housing, as well as increasing public safety, is directly aligned with the priorities of Tlingit & Haida's proposed program. It is recognized that permitting a transitional housing program may be a "difficult sell" to most areas in the community; however, the 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation and the beachfront for cultural programming, lends to the success of this development.

If you have any questions regarding our support for this program please do not hesitate to contact us at (907) 793-3550 or tashley@anjc.net.

Sincerely,

ALASKA NATIVE JUSTICE CENTER


Tammy Ashley
Director of Operations



alaska judicial council

510 L Street, Suite 450, Anchorage, Alaska 99501-1295 [907] 279-2526 FAX [907] 276-5046
<http://www.ajc.state.ak.us> E-Mail: postmaster@ajc.state.ak.us

September 6, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

Dear Members of the CBJ Planning Commission:

We encourage you to approve the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) to allow the creation of a transitional housing program for men returning from incarceration.

Stable, secure and supportive housing greatly increases the chance that people released from prison will not reoffend, according to a number of studies. Cultural support during reentry after incarceration also increases a person's chance of staying on the path to become a contributing citizen. The Tlingit & Haida program described in its application will serve Native and non-Native community members by giving them a foundation for successful reentry, and a direct link to employment through the Tlingit-Haida for-profit entities. Housing and employment, as well as other services offered in the program, increase public safety. The group of re-entering people served by the program will have new opportunities for stability and support that will help overcome difficulties in adjusting to life in the community. The City and Borough of Juneau's emphasis on creating obtainable and affordable housing, as well as increasing public safety, is directly aligned with the priorities of Tlingit & Haida's proposed program.

Permitting a transitional housing program may be a "difficult sell" to most areas in many communities. As described by Tlingit & Haida, the existing 12-unit property near the Juneau-Douglas Bridge seems ideal for this use. It is close to support services, employment, and public

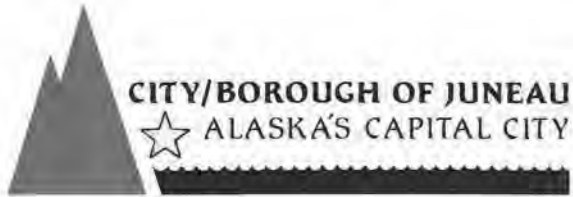
transportation. Participants in the program can use the beachfront for cultural programming. As a result of this location, the development is much more likely to succeed in its rehabilitation purpose. If you have any questions regarding our support for this program please do not hesitate to contact us.

Sincerely,

A handwritten signature in cursive script that reads "Teri White Carns".

Teri White Carns, Special Projects Coordinator
Alaska Judicial Council

TC/sdw



September 24, 2018

RE: Letter of Support for Reentrant Transitional Housing

The City and Borough of Juneau (CBJ) Housing Office supports the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program for men returning to the community from incarceration. This project complements CBJ community goals by:

- Providing affordable housing;
- Providing support services for sober, healthy living, and successful community integration; and
- Mitigating the risk of reentrant homelessness.

According to the Juneau Reentry Coalition, there are about 150 reentrants to the Juneau community each year and 60 of those do not have a home to return to. According to the National Low Income Housing Coalition's "Out of Reach 2018," the hourly wage required to afford the average two bedroom apartment in Juneau is \$27.42, or 2.8 full-time jobs at minimum wage. A criminal record makes it difficult to get an apartment in the first place. After restitution, legal fees, and often-times child support, many reentrants struggle affording an apartment. Tlingit & Haida's proposed facility provides affordable housing.

Tlingit & Haida's proposed location at the current Harbor Inn Hotel is close to employment, services, groceries, and transit. The project enhances downtown residency, making for a more vibrant and safer downtown. The waterfront access in proximity to the whale sculpture provides traditional Tlingit access to the waterfront, supporting the cultural elements of recovery and a sense of community. The peer-driven, sober living facility will be a good neighbor in downtown. One of our biggest challenges with keeping vulnerable populations housed is supported services to help them with day-to-day life. Tlingit & Haida's program fosters community connectedness and provides practical living skills, improving the likelihood of success for our neighbors reentering our community.

Tlingit & Haida's program is based on the Delancey Street Model, a nationally-recognized and vetted model of peer support and improvement for those reentering the community after incarceration. Tlingit & Haida is not reinventing the wheel, but is instituting best practices demonstrated successfully nation-wide. In addition to the proposed Sacred Grounds Café, Tlingit & Haida's Business and Economic Development Department is developing employment programs in food service and catering, and auto detailing services.

There is a link between homelessness and incarceration. Methodologies vary, but the National Alliance to End Homelessness estimates that 50-thousand people enter homeless shelters directly from incarceration (March 2018). Prisonpolicy.org reports that incarcerated people are almost 10 times more likely to be homeless than the general public (August 2018). While Tlingit & Haida's reentry program is open to everyone, reentrants are disproportionately Alaska Native. 47 percent of Juneau's homeless population and 85 percent of our Housing First residents are Alaska Native or American Indian (June 2018). Tlingit & Haida is a member of the Juneau Coalition on Housing and Homelessness and has worked with the 32 partner agencies in addressing this gap in preventing homelessness.

We support Tlingit & Haida's proposed reentrant housing and appreciate their partnership in addressing this vital community need.

Scott R. Ciambor
Chief Housing Officer

Irene M. Gallion
Housing and Homelessness Services Coordinator

155 So. Seward Street, Juneau, Alaska 99801-1397

Attachment D - Letters of Support



THE STATE
of **ALASKA**
GOVERNOR BILL WALKER

OFFICE OF THE COMMISSIONER

550 West 7th Avenue, Suite 1860
Anchorage, Alaska 99501
Main: 907.269.7397
Fax: 907.269.7390

October 1, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

The Alaska Department of Corrections strongly supports the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program. There is a critical need for transitional housing that supports people returning to their communities.

Historically, many reentrants live with family members or friends immediately upon release, often placing them back into their former criminogenic environments and networks. Tlingit & Haida is hoping to break that cycle by replacing past associations with new positive supports providing a healthy foundation built on culturally responsive services for participants as well as direct channels to resources necessary for successful reentry.

Tlingit & Haida developed a comprehensive program for both Native and non-Native community members providing a foundation for successful reentry and a direct link to employment through their for-profit entities. This in turn increases public safety and provides an opportunity for a population that has traditionally experienced difficulty in obtaining housing and employment opportunities.

The City and Borough of Juneau's emphasis on creating obtainable and affordable housing, as well as increasing public safety, is directly aligned with the priorities of Tlingit & Haida's proposed program.

If you have any questions regarding our support for this program, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Karen L. Cann", written over a horizontal line.

Karen L. Cann
Deputy Commissioner of Transitional Services

Yes of course

Check out my Big Island
Fresh food and deep stretching
WELLNESS RETREAT
Jan 1-10, 2020
<https://tri.ps/SrjEf>

www.DrEmilyKane.com<<http://www.DrEmilyKane.com>>
www.naturopathic.org<<http://www.naturopathic.org>>
www.primarydoctor.org<<http://www.primarydoctor.org>>

Join with me in
Cultivating Exuberance

On 23 Jan 2019, at 23:57, Talia Eames <teames@ccthita-nsn.gov<<mailto:teames@ccthita-nsn.gov>>> wrote:

Thank you for your support, Dr. Kane. I have forwarded this on to President Peterson. Is it okay if I share your support with the city for public record? Thanks again!

Gunalchéesh, Háw'aa / Thank you,

Talia Eames
Program Coordinator
Public Safety Department•Second Chance Reentry Program Phone 907.463.7365

From: Emily Kane [<mailto:dremilykane@gmail.com>]
Sent: Sunday, January 20, 2019 9:21 PM
To: Talia Eames <teames@ccthita-nsn.gov<<mailto:teames@ccthita-nsn.gov>>>
Subject: Transitional housing near Parkshore

Dear Mr Peterson

I am an owner at Parkshore currently traveling so I missed the Jan 9 meeting. I hope it went well. I wanted to register my support of helping people integrate back into society peacefully and productively after taking a wrong turn. Everyone deserves a second chance.

Best wishes
Dr Emily Kane
Unit A6 Parkshore
Juneau AK

Check out my Big Island
Fresh food and deep stretching
WELLNESS RETREAT
Jan 1-10, 2020
<https://tri.ps/SrjEf>

www.DrEmilyKane.com<<http://www.DrEmilyKane.com>>
www.naturopathic.org<<http://www.naturopathic.org>>
www.primarydoctor.org<<http://www.primarydoctor.org>>

Join with me in
Cultivating Exuberance



Shannon Fisher, Executive Director
PO Box 32775
Juneau, AK 99803
www.familypromisejuneau.com
director@familypromisejuneau.com

September 12, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

Family Promise of Juneau strongly supports the Conditional Use permit application by Central Council of Tlingit & Haida for the permitting of a transitional housing program for men returning from incarceration.

Studies show that people released from prison are less likely to reoffend, and less likely to go back to prison if they have stable, secure and supportive housing. The value of cultural support is also becoming more widely recognized as a useful tool in the reentry process. This comprehensive program for both Native and non-Native community members to provide a foundation for successful reentry and a direct link to employment through their for-profit entities. This will increase public safety and provide an opportunity for a population that has traditionally experienced difficulty in obtaining housing and employment.

Family Promise stands for all families. When a man becomes incarcerated he does not stop being someone's father. The transitional housing program is for men to live alone, but this gives fathers a better chance to be contributing members of their family without slipping back into behaviors that lead back to incarceration. This is good for our community.

It is recognized that permitting a transitional housing program may be a "difficult sell" to most areas in the community, however, the 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation and the beachfront for cultural programming, lends to the success of this development. If you have any questions regarding our support for this program please do not hesitate to contact me.

Sincerely,

Shannon Fisher
Executive Director

Haven House Juneau/PO Box 20875/Juneau Alaska 99802/907-789-SAFE

October 8, 2018

City and Borough of Juneau
Permit Center
230 S. Franklin Street
Juneau, Alaska 99801

Re: Tlingit & Haida Transitional Housing Program Permit

Dear CBJ,

Haven House Juneau is thrilled that Central Council of the Tlingit and Haida Tribes of Alaska (Tlingit & Haida or the Tribe) wishes to open in Juneau a transitional home for men coming out of prison. We wholeheartedly support this Project.

Haven House was able to open in March 2015 after it received a conditional use permit to operate a transitional home for women coming out of prison. Haven House received its permit under the "Use Not Listed" provision of the zoning code. After that, in July 2015, the Assembly added the new use to the zoning code so that other individuals or agencies could offer transitional housing to persons coming out of prison. Haven House is just for women and this project fills a vital community need for supportive, structured housing for men coming out of prison.

If this project were simply twelve units of new rental housing for low income persons, it would be welcome, given the need for low-income housing in Juneau. But this project fills a need for a group of low income persons who particularly need housing. According to the National Housing Law Project: "Formerly incarcerated individuals struggle to secure employment, obtain medical care and avoid substance abuse. According to criminal justice officials, however, finding housing is the biggest challenge faced by individuals returning to the community."

And this project will not only provide housing but it will be supportive, structured housing. It will also help the residents obtain employment, obtain medical care and avoid substance abuse. It takes a lot of work and forethought to structure and operate such a program. Tlingit & Haida is uniquely positioned to do that. It has the capacity, the resources, and the commitment to run a high quality program for men who are both tribal and non-tribal members.

Our criminal justice system is not working to help people stay out of jail. Two out of three persons who are released from jail are back in jail within three years, many having been convicted of new crimes. Studies have shown that the first six months after release from prison are crucial. The Department of Corrections recognizes this and is trying to establish a "warm handoff" so that, immediately on release from prison, persons can move into smaller settings and can have help right away establishing new patterns.

Haven House is helping women in such a small setting in Juneau. Of the thirty-three women who have lived at Haven House since March 2015, only two have been convicted of new crimes (neither of which were committed while at Haven House). And since we've been open, there have been no complaints of disturbance from the neighbors.

The Assembly recognized the unique needs and benefits for housing devoted to persons coming out of prison. The Assembly established transitional housing for persons coming out of prison as a permissible use in the CBJ. The Assembly did not intend that Haven House Juneau be the only example of this use. The community is fortunate that the Tribe wants to offer this program for men. We hope the Tribe's application can be expeditiously reviewed and approved.

If I can provide any additional information, feel free to contact me at 907-957-6170 or ortokeen@gmail.com.

Sincerely,



Mary Alice McKeen

President, Board of Directors

Haven House Inc.

c.c.: Talia Eames
Tlingit & Haida

Julee Douglas
Executive Director
Haven House Juneau



Juneau Housing First Collaborative 1994 Allen Court, Juneau, AK 99801 (907) 500-7369

September 26, 2018

City and Borough of Juneau
Community Development Department/Planning Commission
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To whom it may concern,

The Central Council of Tlingit and Haida Indian Tribes of Alaska's efforts to create and implement a supportive transitional housing reentry program is beyond needed in Juneau. The program will reduce recidivism, support adults in their recovery, and overall reentry.

Juneau Housing First, is a 24-hour supportive housing facility. This model has been successful throughout the United States for the last 30 years. There's a plethora of statistics and data to unequivocally illustrate that supportive housing works. Persons who have been marginalized deserve and need to be seen and heard, this creates more positive outcomes. Supportive housing programs allow the program participants to build a positive community, one where they feel accepted, positive, and able to move forward in their life without judgment. This specific program does not exist in Juneau, especially one with a focus on culture based reentry pathways.

As the director of Housing First, I have seen firsthand what permanent supportive housing can do for people. The positive relationships built with staff and fellow tenants has been a crucial factor in changing outcomes for tenants in the most positive ways possible. Standard delivery of services, i.e. participating in a weekly therapy appointment can't and does not work for everyone. Having support at all hours of the day, rather than the typical 9-5 hours, lends itself to better outcomes, especially for those who lack natural supports.

This program is truly necessity. It is vital to improving the lives of those who are returning from incarceration, and thus the greater community at large.

We strongly encourage you to grant this permit. Please do not hesitate to contact me directly for further questions regarding this matter at ddavis@juneauhfc.org or 907-565-9147.

Sincerely,

Dacia Davis, Program Director Housing First



*"We help people live their
own best lives"*

An NCADD Affiliate

September 12, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

This purpose of this correspondence is to express our strongly support for the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program for men returning from incarceration.

Studies show that people released from prison are less likely to reoffend, and less likely to go back to prison if they have stable, secure and supportive housing. The value of cultural support is also becoming more widely recognized as a useful tool in the reentry process. We understand that Tlingit & Haida is developing this comprehensive program for both Native and non-Native community members to provide a foundation for successful reentry and a direct link to employment through their for-profit entities. This in turn increases public safety and provides an opportunity for a population that has traditionally experienced difficulty in obtaining housing and employment opportunities. The City and Borough of Juneau's emphasis on creating obtainable and affordable housing, as well as increasing public safety, is directly aligned with the priorities of Tlingit & Haida's proposed program.

It is recognized that permitting a transitional housing program may be a "difficult sell" to most areas in the community, however, the 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation and the beachfront for cultural programming will lend to the success of this development. If you have any questions regarding our support for this program please do not hesitate to contact me at 463-6849 or dave@jamhi.org.

Sincerely,

David G. Branding, PhD
Chief Executive Officer

3406 Glacier Hwy
Juneau, Alaska 99801

Tel. (907) 463-3303
Fax (907) 463-6858
www.jamhi.org



September 13, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

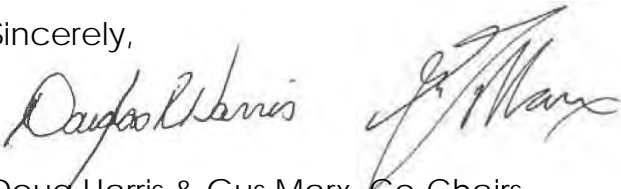
The Juneau Coalition on Housing and Homeless (JCHH) whole-heartedly supports the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program for men returning from incarceration.

As a partnership of local agencies and organizations who serve Juneau's most vulnerable residents, the Juneau Coalition on Housing and Homelessness brings together over twenty organizations who provide emergency, transitional, permanent-supportive, and supportive services to people who struggle with housing in our community.

Evidence confirms that people released from prison are less likely to reoffend, and less likely to go back to prison if they have stable, secure, and supportive housing solutions. The value of cultural support is also becoming more widely recognized as a useful tool in the reentry process. Tlingit & Haida is developing this comprehensive program for both Native and non-Native community members to provide a foundation for successful reentry and a direct link to employment through their for-profit entities. This in turn increases public safety and provides an opportunity for a population that has traditionally experienced difficulty in obtaining housing and employment opportunities. The City and Borough of Juneau's emphasis on creating obtainable and affordable housing, as well as increasing public safety, is directly aligned with the priorities of Tlingit & Haida's proposed program.

We recognize that permitting a transitional housing program may be a “difficult sell” to most areas in the community; however, the 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation, and the beachfront for cultural programming, lends to the success of this development. If you have any questions regarding our support for this program please do not hesitate to contact either of the co-chairs of the JCHH, Gus Marx (gusm@jys.org) or Doug Harris (doug@jamhi.org).

Sincerely,

Handwritten signatures of Doug Harris and Gus Marx in black ink.

Doug Harris & Gus Marx, Co-Chairs
Juneau Coalition on Housing and Homelessness



JUNEAU REENTRY COALITION

*Promoting Public Safety &
Strengthening Our Community*

September 13, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

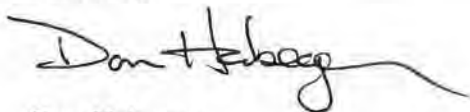
To Whom It May Concern:

The Juneau Reentry Coalition (JREC) strongly supports the Conditional Use Permit application by the Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program for men returning from incarceration.

In partnership with the Alaska Mental Health Trust Authority; the Alaska Department of Health and Social Services, Division of Behavioral Health; and the Alaska Division of Corrections the JREC has adopted the Alaska Community Reentry Program as its model. The Alaska Community Reentry Program, "envision[s] that offenders sentenced to thirty days or more will have the services and supports needed to successfully reenter their communities. These services and supports included, but are not limited to, access to physical and behavioral healthcare, employment, transportation, education and training, and housing." Safe and secure reentry/transitional housing, especially for men, is sorely needed in Juneau due to its short supply.

The 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation and the beachfront for cultural programming, lends to the success of this development. JREC urges the CBJ to approve this Conditional Use Permit application.

Sincerely,



Don Habeger
Community Coordinator
Juneau Reentry Coalition
Email: don@juneautoreentry.org



THE STATE
of **ALASKA**
GOVERNOR BILL WALKER

Department of Corrections

INSTITUTIONS
LEMON CREEK CORRECTIONAL CENTER

2000 LEMON CREEK ROAD
Juneau, Alaska 99801
Main: 907.465.6201
Programs fax: 907.465.6207

**City and Borough of Juneau
Permit Center
230 Franklin Street
Juneau, AK 99801**

September 11, 2018

Re: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

Lemon Creek Correctional Center strongly supports the Conditional use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program for men returning from incarceration.

One of the missions of the Department of Corrections is to prepare inmates to pursue productive lives once they release from prison. Naturally, the first step to success for persons released from prison is personal choice, but experience indicates that successful reentry may also be influenced by factors that are often beyond a released offender's direct control, such as the availability of housing, employment, and wellness support. Tlingit & Haida have demonstrated a commitment to helping people released from prison to receive the support services they need, such as affordable housing and assistance in finding employment.

Our community benefits when released persons successfully reintegrate into society and while there is bound to be a level of community discomfort when transitional housing is introduced within the city, Tlingit & Haida's proposed transitional housing site is well-situated for high-impact services and low-impact to neighbors. Lemon Creek Correctional Center supports their effort on this project.

Respectfully Submitted

A handwritten signature in black ink, appearing to read "D. Webster", written over a horizontal line.

Daryl Webster
Superintendent I
Lemon Creek Correctional Center
Alaska Department of Corrections



Sha'a Ka Atyátx'i Noowú
DOVE COTTAGE
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"Serving Juneau and Nine Southeastern Communities"

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(907) 586-2479 (fax)

(907) 586-1090 (crisis)

1-800-478-1090 (toll free in state)

E-mail: info@awareak.org

Website: www.awareak.org

September 12, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

AWARE strongly supports the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program for men returning from incarceration.

Studies show that people released from prison are less likely to reoffend, and less likely to go back to prison if they have stable, secure and supportive housing. The value of cultural support is also becoming more widely recognized as a useful tool in the reentry process. Tlingit & Haida is developing this comprehensive program for both Native and non-Native community members to provide a foundation for successful reentry and a direct link to employment through their for-profit entities. This in turn increases public safety and provides an opportunity for a population that has traditionally experienced difficulty in obtaining housing and employment opportunities. The City and Borough of Juneau's emphasis on creating obtainable and affordable housing, as well as increasing public safety, is directly aligned with the priorities of Tlingit & Haida's proposed program.

It is recognized that permitting a transitional housing program may be a "difficult sell" to most areas in the community, however, the 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation and the beachfront for cultural programming, lends to the success of this development. If you have any questions regarding our support for this program please do not hesitate to contact me.

Sincerely,

Saralyn Tabachnick
Executive Director



PUBLIC TESTIMONY
IN SUPPORT OF TLINGIT & HAIDA'S
TRANSITIONAL HOUSING PROGRAM PERMIT

Melody K. Millard
17280 Andreanof Drive
Juneau, AK 99801
(907) 321-5067

September 25, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

Having witnessed in person the success of transitional housing, I support the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program for men returning from incarceration.

Studies show that stable, secure and supportive housing is essential for people released from prison if they are to successfully reenter and not reoffend. Here is a real life example which backs up the studies: Haven House, transitional housing located in Lemon Creek began providing a supported and structured living environment to foster healing and self-sufficiency for women coming out of prison. Post after post on Haven House's Face Book page begins with something akin to "If I hadn't had a place to go, I would have been back on the streets." "If you don't have a home to go to, you just crash at a friend's place, a friend who is still using. Guess what happens then?" "Nobody wants anything to do with you. Where do you go?"

Haven House residents thrive. It has housed 33 residents since 2015 and out of all those women – since the opening, only 2 have reoffended (6%). Haven House also houses 75% Alaska Native women. AND -the police have NEVER had to be called to Haven House.

Women who have reentered have jobs, housing and are productive members of society. Not only that, but they return to Haven House to visit and foster friendships and mentor the women currently residing there. This has resulted in an ever-growing extended family whose members are there for one another.

Tlingit & Haida is developing this comprehensive program for both Native and non-Native community members to provide a foundation for successful reentry and a direct link to employment through their for-profit entities. The City and Borough of Juneau's emphasis on

creating obtainable and affordable housing, as well as increasing public safety, is directly aligned with the priorities of Tlingit & Haida's proposed program.

Haven House's location in a residential neighborhood was "difficult sell" as are most areas in the community; however, the 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation and the beachfront for cultural programming, lends to the success of this development. To be located near the beach front grants the opportunity of not only restoring a measure of a man's culture to him, which studies have shown can bring great healing, but for many, the beach, the ocean and its tide changes can bring peace.

Given my observation of the time-tested success of Haven House, I have confidence that approval of the Tlingit and Haida Transitional Housing Program Permit will be a good decision and the approval to operate will make a positive difference in these men's lives, in the life of the community and potentially in the state or even nationwide.

I thank you for your consideration of this matter.

Respectfully,
Melody Millard



January 15, 2019

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

The Juneau Suicide Prevention Coalition is happy to write this letter of support for the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program for men returning from incarceration—Yak'éiyi Kustí Yinaadei Hít, which translated means “going toward the good life house” in Llingit.

The transition out of prison can be a challenging time for individuals. Shifts in family and living situations since incarceration, the draw to return to old patterns of behavior, and ultimately, the feeling of disconnection from ones community can lead to feelings of depression and suicidal ideation. It is incumbent upon us as a community to help hold up those people making this transition so that they can succeed. Doing this with a cultural approach, such as the Yak'éiyi Kustí Yinaadei Hít project aims to do, is an excellent and exciting model, and one which the Juneau Suicide Prevention Coalition is in full support. Dr. Walter Soboleff said, “When we know who we are, we don't hurt ourselves.” This program, for Native and non-Native community members, will help participants to know who they are and transition back into our community with a safety net of support that will provide a solid foundation for their lives moving forward.

The 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation, and the waterfront for cultural programming, lends to the success of this best-practice venture. The Juneau Suicide Prevention Coalition feels strongly that this program is vitally needed in our continuum of care in Juneau, and we are in full support of the endeavor. If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to be "Jorden Nigro", written over a light blue circular stamp.

Jorden Nigro
Chair

September 26, 2018

City and Borough of Juneau
Permit Center
230 S. Franklin Street
Juneau, AK 99801

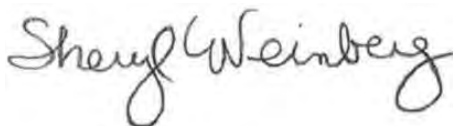
RE: Letter of Support for Tlingit and Haida's Transitional Housing Program Permit

To Whom It May Concern:

As a provider of adult education and workforce training programs that often target people that are re-entering the community after incarceration, The Learning Connection Program of SERRC (TLC) strongly supports the conditional use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (CCTHITA) for permitting of a transitional housing program for men returning from incarceration.

Studies show reoffending rates are reduced if people being released from prison have stable, secure and supportive housing. The concept that CCTHITA is proposing will also include cultural support as well as links to employment opportunities through their development of for-profit social enterprises that will hire men from the transitional housing program. The housing program will support both Alaska Native and non-native community members. Housing, employment and productive activities for this population will provide opportunities for increased public safety. Both affordable housing and public safety are priorities of the City and Borough of Juneau. It is also recognized that participants of our TLC programs are more successful in improving education and workplace skills when they have a supportive environment that includes secure and safe housing. If you have additional questions regarding our support of this program please contact me at 907-586-6806.

Sincerely,

A handwritten signature in cursive script that reads "Sheryl Weinberg". The ink is dark and the signature is fluid, with the first and last names being clearly legible despite the cursive style.

Sheryl Weinberg
SERRC Director

October 1, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

Sealaska Heritage Institute strongly supports the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida) for the permitting of a transitional housing program for men returning from incarceration.

Studies show that people released from prison are less likely to reoffend, and less likely to go back to prison if they have stable, secure and supportive housing. The value of cultural support is also becoming more widely recognized as a useful tool in the reentry process. Tlingit & Haida is developing this comprehensive program for both Native and non-Native community members to provide a foundation for successful reentry and a direct link to employment through their for-profit entities. This in turn increases public safety and provides an opportunity for a population that has traditionally experienced difficulty in obtaining housing and employment opportunities. The City and Borough of Juneau's emphasis on creating obtainable and affordable housing, as well as increasing public safety, is directly aligned with the priorities of Tlingit & Haida's proposed program.

It is recognized that permitting a transitional housing program may be a "difficult sell" to most areas in the community, however, the 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation and the beachfront for cultural programming, lends to the success of this development. If you have any questions regarding our support for this program please do not hesitate to contact us.

Sincerely,

A handwritten signature in black ink, appearing to read "Rosita Worl".

Rosita Worl, Ph.D.
President, Sealaska Heritage Institute

Inspiring Personal Independence

SOUTHEAST ALASKA INDEPENDENT LIVING



3225 Hospital Dr, Suite 300, Juneau, Alaska 99801, 1-800-478-SAIL, ph/tty: 907-586-4920, fx: 907-586-4980

January 21, 2019

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

On behalf of Southeast Alaska Independent Living (SAIL), I am writing in support of Central Council of Tlingit & Haida Indian Tribes of Alaska's (Tlingit & Haida) Conditional Use permit for the permitting of a transitional housing program for men returning from incarceration. Studies show that people experiencing a wide range of disabilities, including hidden disabilities such as traumatic brain injuries, FASD, and mental illness, are disproportionately incarcerated. This rate can be as high as one out of every five inmates. As such, this project is in lockstep with SAIL's mission to *inspire personal independence* for seniors and people experiencing disabilities.

Studies show that people released from prison are less likely to reoffend, and less likely to go back to prison if they have stable, secure and supportive housing. Successful reentry increases public safety and provides an opportunity for a population that has traditionally had trouble accessing housing and employment opportunities. The City and Borough of Juneau's emphasis on creating obtainable and affordable housing, as well as increasing public safety, is directly aligned with the priorities of Tlingit & Haida's proposed program.

Permitting a transitional housing program can be a tough sell to most areas in the community, which is why the 12-unit property near the Juneau-Douglas Bridge is in an ideal location. The proximity to support services, employment, public transportation and the beachfront for cultural programming, lends to the success of this program and integration into the community.

SAIL is a partner in the successful reentry of our incarcerated brothers and sisters. If you have any questions regarding SAIL's support for this program, please do not hesitate to contact me: 586-4920, tlombardo@sailinc.org.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tristan Knutson-Lombardo', is written over a horizontal line.

Tristan Knutson-Lombardo
Assistant Director, SAIL

An Aging and Disability Resource Center and Partner Agency of United Way of Southeast Alaska

Information and Referral · Advocacy · Peer Support · Independent Living Skills Training
De-Institutionalization · Outdoor Recreation and Community Access (ORCA)

www.sailinc.org

Attachment D - Letters of Support



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Hospitality**

September 12, 2018

City and Borough of Juneau
Community Development Department/Planning Commission
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

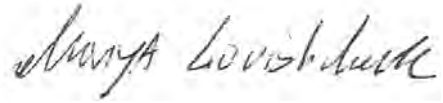
This letter is to express our strongest possible support for Central Council of Tlingit and Haida Indian Tribes of Alaska's transitional housing program for men who are returning from incarceration. This housing fills a critical need in our community and once operating will substantially address the crisis of recidivism, poverty, and affordable housing in our community.

TGH is an emergency shelter, soup kitchen, and care center. We have been operating since 1982 and our mission is to provide food, shelter, and compassion to those most in need. As providers of emergency shelter, we see the tragic scenario of formerly incarcerated adults playing out. The person has served his or her time, has stabilized and detoxed while in prison, and is coming out of prison ready to turn their life around, to get a job, to become a productive member of society, to stay away from the life of crime. Unfortunately, they have nowhere to go. They come to TGH and they desperately search for housing while trying to work and comply with conditions of their probation. Most of the time they fail. It is heartbreaking. They would not fail if they had stable and supportive housing. This is a fact!

Failing to grant a permit to this worthwhile and long overdue program would be destroying lives and perpetuating the crisis of poverty and recidivism in our community. It would also be senseless. Recovery housing works! As clearly demonstrated by Haven House and other national programs, programs like Second Chance have a positive impact or no impact on neighborhoods in which they are located. There is no rise in crime or unpleasantness associated with these programs. Second Chance is housing. It is housing for people who need it. It is housing we all need. The 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation and the beachfront for cultural programming, lends to the success of this development.

We strongly urge you to grant this permit as quickly and painlessly as possible. If you have any questions regarding our support for this program please do not hesitate to contact me at lovishchuk.mariya@gmail.com or via phone at (907) 586-4159.

Sincerely,

A handwritten signature in cursive script, reading "Mariya Lovishchuk". The ink is dark and the signature is fluid, with a large initial 'M' and a long, sweeping underline.

Mariya Lovishchuk, Executive Director TGH

September 25, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

Please accept this letter in support of Tlingit and Haida's Conditional Use application for the permitting of a transitional housing program for men returning from incarceration.

Over the last few years, a number of former inmates have successfully enrolled at UAS. We have a very supportive community here, but clearly, the University can only be one of many options for the reentry population. Tlingit and Haida has been a great partner for the University. Their services target critical needs that positively impact the entire community. This project will directly serve at least two of Juneau's top priorities, affordable housing and public safety.

In my experience, overseeing the enrollment process and the residential facilities at UAS, I have witnessed the challenges these men face first hand. Homelessness brings a whole other set of unnecessary challenges. I applaud Tlingit and Haida's work in this area.

If you have any questions regarding our support for this program please do not hesitate to contact me.

Sincerely,



Joe Nelson
Vice Chancellor of Enrollment Management
(907) 796-6057
jgnelson@alaska.edu

United Way of Southeast Alaska

3225 Hospital Drive, Suite 106
Juneau, Alaska 99801
tel 907.463.5530
fax 907.463.4649

unitedwayseak.org

LIVE UNITED



September 29, 2018

City and Borough of Juneau
Permit Center
230 S Franklin Street
Juneau, AK 99801

RE: Letter of Support for Tlingit & Haida's Transitional Housing Program Permit

To Whom It May Concern:

United Way of Southeast Alaska is pleased to offer this letter of support for the Conditional Use permit application by Central Council of Tlingit & Haida Indian Tribes of Alaska (Tlingit & Haida), for the permitting of a transitional housing program for men returning from incarceration.

United Way of Southeast Alaska is an independently governed, non-profit organization, dedicated to strengthening lives, helping people, and improving community conditions in Southeast Alaska. United Way of Southeast Alaska and our partners work to create real, lasting change by addressing the underlying causes of problems within our communities.

We support community programs and initiatives that help those in need and also prevent problems from happening in the first place. United Way collaborates with communities and agencies across Southeast Alaska to strengthen and improve the Health, Education, and Financial Stability of all individuals. At United Way of Southeast Alaska, we believe that everyone should have the opportunity for a good life. Everyone deserves a quality education that leads to a stable job, enough income to support a family through retirement, and good health.

That's why our work is focused on the building blocks for a good life: education, income, and health.

Given the existing limitations of reentry programs without supportive housing, Tlingit & Haida is developing a state-of-the-art program to provide sober and supportive housing for returning citizens. Studies show that people released from prison are less likely to reoffend and less likely to go back to prison if they have stable, secure, and supportive housing. The program will provide a healthy foundation built on culturally responsive services for participants as well as direct channels to resources necessary for successful reentry.

The value of cultural support is also becoming more widely recognized as a useful tool in the reentry process. Tlingit & Haida is developing this comprehensive program for both Native and non-Native community members, to provide a foundation for successful reentry and a direct link to employment through their for-profit entities. This in turn increases public safety and provides an opportunity for a population that has traditionally experienced difficulty in obtaining housing and employment opportunities. The City and Borough of Juneau's emphasis on creating obtainable and affordable housing, as well as increasing public safety, is directly aligned with the priorities of Tlingit & Haida's proposed program.

It is recognized that permitting a transitional housing program may be a "difficult sell" to most areas in the community; however, the 12-unit property near the Juneau-Douglas Bridge is ideal for this use. The proximity to support services, employment, public transportation and the beachfront for cultural programming, lends to the success of this development. If you have any questions regarding our support for this program please do not hesitate to contact me.

Your careful attention and thoughtful consideration of their conditional use permit application is genuinely appreciated.

Respectfully,



Wayne A. Stevens
President/CEO

Laurel Bruggeman

From: Ed Foster
Sent: Tuesday, December 11, 2018 6:05 PM
To: Laurel Bruggeman
Subject: RE: USE20180023 / PWP20180004 Agency Review - Conditional Use Permit & Parking Waiver for Transitional Housing Project

Follow Up Flag: Follow up
Flag Status: Flagged

Laurel,

The only concern Streets would have relates to the lack of parking. The existing parking spaces may accommodate the planned staffing, but the café and future planned activities will most likely introduce a need for more parking than what is being described in the application. That additional need has a high likelihood of ending up on the side of 9th Street, which will create operational issues with snow removal, street maintenance and most likely with neighboring businesses

Not that it would directly affect Streets, but where would they be doing the other planned activities they mentioned, i.e. canoe carving, boat tours, fishing, etc.?

Ed

From: Laurel Bruggeman
Sent: Tuesday, December 11, 2018 2:04 PM
To: Autumn Sapp; Dan Jager; Charlie Ford; Robin Potter; Ed Foster; George Schaaf; Carl Uchtyl; David Campbell; Quinn Tracy
Cc: Jill Maclean
Subject: USE20180023 / PWP20180004 Agency Review - Conditional Use Permit & Parking Waiver for Transitional Housing Project

Good afternoon,

We have received an application for a conditional use permit and parking waiver for a transitional housing project to be located at 1225 W Ninth Street. Please see the attached documents and provide your comments to me by January 4, 2018 to be included in my staff report to the Planning Commission.

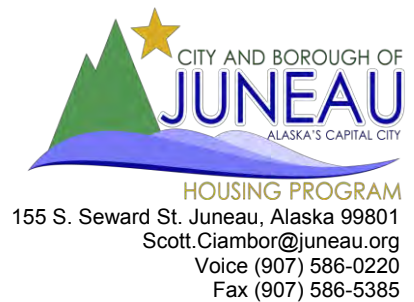
The requested conditional use permit would allow the conversion of an existing hotel to transitional housing for up to 16 residents and one resident manager. The applicant is also proposing to use a portion of the building as a coffee shop, this can be allowed without a conditional use permit. The associated parking waiver would reduce the required parking for the transitional housing and coffee shop to the 3 spaces that the site currently has.

There were quite a lot of materials submitted with this application. I have attached what I believe will be sufficient for your review, but please feel free to let me know if you feel you need more information.

Thank you,

Laurel Bruggeman | Planner
[Community Development Department](#) | City & Borough of Juneau, AK
Location: 230 S. Franklin Street, 4th Floor Marine View Building
Office: 907.586.0761

MEMORANDUM



TO: Laurel Bruggeman, Planner

FROM: Irene Gallion, Housing and Homelessness Services Coordinator

DATE: December 26, 2018

SUBJECT: USE20180023: Department review of the Central Council Tlingit & Haida Indian Tribes of Alaska proposal to change property use from a hotel to transitional housing.

I have reviewed the subject Development Permit Application. I feel it is an important and right-sized complement to existing homelessness services.

Using available data, the Juneau Reentry Coalition estimates that annually there will be 31 men exiting incarceration in Juneau who will be homeless. Note that this is a revision downward of anticipated need cited in our September 24, 2018 letter of support for the project from the Housing Office. The proposed project can address almost half the anticipated annual need in our community. That is significant.

Even after construction of Forget-me-Not Manor, Juneau's Housing First collaborative, our homeless population is holding steady. From July through September of 2017, we served 288 people experiencing homelessness. For the same period in 2018 the count was 283, even after providing 32 new beds. There is pressure on our affordable housing, and reentrants are at a disadvantage.

The proposed location is proximate to transportation, groceries, and the downtown probation offices. The facility will provide "residential oversight" of the Whale Park, and will improve amenities available to park visitors.

The application notes that if residents are approved for a vehicle they can park it at the Andrew Hope building (see page 13 of the Change of Use Application Narrative). Given the sensitivities about parking downtown, it may be worth a brief discussion on:

- How many vehicles currently use that parking?
- Is it adequate for the current use?
- How many transitional housing vehicles could be accommodated?
- How does CCTHITA verify that a parked vehicle is approved? (For instance, a permit?)
- What are standards for use of the parking area? For instance, what level of repair is required for vehicles?
- How will CCTHITA manage abandoned or unsafe vehicles?

Note that the Housing Office provided a letter of support for this project, which I believe you have in the CCTHITA application packet. If you need me to send you a copy please let me know.

Laurel Bruggeman

From: Robin Potter
Sent: Monday, January 7, 2019 2:38 PM
To: Laurel Bruggeman
Cc: Mary Grant
Subject: RE: USE20180023 / PWP20180004 Agency Review - Conditional Use Permit & Parking Waiver for Transitional Housing Project

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Laurel,

Comments from the Assessor Office regarding the Tlingit Haida Regional Housing project located at 1255 Ninth St. Juneau, AK.

Until this conditional use permit information was reviewed, this is the first time the Assessor office was aware the parcel was being used as a hotel. A hotel business is a taxable use that has escaped taxation for at least the past twelve years. Our records indicated the property being used as an apartment complex for THRHA, for which housing is exempt use. As the status January 1, 2019 is hotel, it will be taxable for 2019.

I also note there is a portion of the property listed as Sacred Grounds coffee shop. This is also taxable use and will be placed on the 2019 tax rolls.

As for conversion of the property for homeless housing, the main concern I would have is the impact on surrounding property values. Comparing this project to the Haven House project in the Tall Timbers subdivision in the Valley, there has been no adverse impact on values. Market values have increased in the Tall Timbers neighborhood more than 5% between 2015 and 2018. For 2019, the current sales ratio is 94% which indicates a significant increase can be expected this year as well.

Results of studies conducted in New York, Washington DC, Denver Colorado and other reports I have reviewed, have verified similar results. I have been unable to find any evidence of this type of housing to have a negative effect on property values. It is important the property be well managed and maintained.

I have no significant concerns for this project.

Thank you,

Parcel Code # 1C060K600110 (p_id:1043) TLINGIT HAIDA REGIONAL HOUSING AUTHORITY Since Jun 2005 (Owner:1449) 1255 W NINT

Total Building Value: Total Misc Imp Value: Total Land Value: Total Value: TLINGIT HAIDA REGIONAL HOUSIN

(1) Assessor's Office.Legal Description

General

Assessor Lot Information

Lot Size	Unit	Lot Size	Unit
4492	Square Feet		

Legal Description

TIDELANDS ADDITION BL 60 LT 16B

Property Use Code: 0250 (Apartments 5 to 24 units)

Possessory Interest: N MA Recal

Property Classification: COM (Commercial)

Property Type: 18 (Apartment)

Buttons: Clear, Save, Delete, Exit

Robin Potter

Robin Potter ACAA V

CBJ Assessor

155 S. Seward Rm 14

Juneau, Alaska 99801

907.586.0330

http://www.juneau.org/financeftp/assessor_main.php



From: Laurel Bruggeman

Sent: Monday, January 7, 2019 1:13 PM

To: Robin Potter

Subject: FW: USE20180023 / PWP20180004 Agency Review - Conditional Use Permit & Parking Waiver for Transitional Housing Project

Hi Robin,

Please see the below email chain. Are you willing to provide comments?

Thanks, I appreciate the help.

Laurel Bruggeman | Planner

Laurel Bruggeman

From: Charlie Ford
Sent: Tuesday, December 11, 2018 3:05 PM
To: Laurel Bruggeman
Subject: RE: USE20180023 / PWP20180004 Agency Review - Conditional Use Permit & Parking Waiver for Transitional Housing Project

Hi Laurel,

The occupant load for this type of occupancy is 200 square feet per occupant in the building.

Charlie Ford | Building Official

Community Development Department | City & Borough of Juneau, AK

Location: 230 S. Franklin Street, 4th Floor Marine View Building

Office: 907.586.0767



From: Jan Van Dort <jvandort@gci.net>
Sent: Monday, January 21, 2019 10:39 AM
To: PC_Comments
Cc: Miles S. Schlosberg; Rorie Watt
Subject: FW: Garbage mess at Fish and Game; USE 2018 0023
Attachments: 9038B2C4-242E-42EE-9191-2239B92E8D82.jpeg; 1D938402-99DE-4D02-B971-A2C8A094F749.jpeg

Follow Up Flag: Follow up
Flag Status: Flagged

Planners and Commission Members: In the 47 years that I have lived in Juneau, I have watched it become inundated with crime and riff-raff. Last summer, some of the latest iteration of local riff-raff started using the State-leased parking places behind the Fish and Game Building at the head of the seawalk to park vans to sleep or screw in when it rained or was too wet to sleep in or screw on the seawalk itself. You guys have to be out of your mind to spend millions of dollars on the seawalk and whale park and then allow housing for convicted felons right next to it. These are my personal opinions. But they also reflect the comments made to me by property owners and people who work in the area.

Jan Van Dort (Atty. – Retired)
10518 Fox Farm Trail
Juneau, Alaska 99801
907-321-0271

From: Mitchell, Dave (DFG) [<mailto:dave.mitchell@alaska.gov>]
Sent: Monday, January 21, 2019 8:55 AM
To: jvandort@gci.net; Fred Pollard <pollardalaska@gmail.com>
Subject: Garbage mess at Fish and Game.

Morning gentlemen,

Just got a text showing a huge mess of garbage on and around the loading dock. Could we get someone out to clean it up?

Thanks!

Dave

Dave Mitchell Procurement Specialist III
Alaska Department of Fish and Game Headquarters
PO BOX 115526 / 1255 W 8th St
Juneau, AK 99811
(907) 465-4131
(907) 465-6181 fax
dave.mitchell@alaska.gov



Existing On-Site Parking



Existing Vegetation



W. 9th Street – No Street Parking Allowed



ADA Accessible Parking at Overstreet Park